

CITY OF PACIFIC GROVE

300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO:	Architectural Review Board
FROM:	Laurel O'Halloran, Associate Planner
MEETING DATE:	November 8, 2016
SUBJECT:	Architectural Permit Application No. AP 16-767
ADDRESS:	879 Marino Pines (APN 006-633-016)
ZONING/ LAND USE:	R-1/Medium Density to 17.4 DU/ac
APPLICANT:	Peter Davis on behalf of Gordon & Gayla Armstrong, Owner
CEQA:	Categorical Exemption, Section 15301(e)(1)

RECOMMENDATION

Receive report, hold public hearing, and approve AP 16-767 based on the findings and subject to the staff-recommended conditions.

BACKGROUND

On August 30, 2016, Darrin Gambello, applied for an architectural permit for additions to a single-story 1,733 square foot residence. The proposed residence will consist of a 44 square foot first floor, a 347 square foot second floor addition for a total residence of 2,230 square feet.

DISCUSSION

The residence was constructed circa 1955 according to information on file.

Zoning Code

The proposed project is in conformance with all requirements of the R-1zone, including but not limited to setbacks, height limits, and site coverage.

The proposed project will have a building coverage of 27%, which is within the allowable maximum building coverage of 40%, pursuant to P.G.M.C. 23.16.040. The proposed project will have a site coverage of 27%, which is within the allowable maximum building coverage of 60%. The proposed project will have a gross floor area 2,230 square feet, which is within the allowable maximum gross floor area of 3,201 square feet.

The side yard abutting the street has a setback requirement of 10' and the proposed addition has a setback of 25'6"

The proposed addition meets the City's requirement of one (1) covered and one (1) uncovered parking space for properties larger than 2,700 square foot in the R-1 zoning district.

The property owner seeks to maintain all existing trees

Architectural Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Guideline #9: *Attempt to preserve some portion of neighbors' views by carefully positioning or limiting the width, depth, or height of proposed building elements.*

The second story addition of 347 square feet will have minimal impact to neighbors' views, as the addition faces the street being on a corner lot.

Guideline #21: The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.

The proposed addition maintains all the existing trees.

Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.

The proposed addition is minimal and located above the garage to the west side of the property, and appears to complement the form, mass, and composition of the existing property.

Historic Review:

The subject site went through the Initial Historic Screening process in July of 2016 and was determined to be ineligible for the Historic Resources Inventory.

Environmental Determination:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e)(1) - Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Initial Historic Screening
- E. CEQA Documentation
- F. Project Plans

RESPECTFULLY SUBMITTED:

Laurel O'Halloran

Laurel O'Halloran, Associate Planner

CUTY OF AN	CITY OF PA Community De 300 Forest Avenu Tel: 831.648.319 Permit Appli	CIFIC GROVE velopment Department – Pla ue, Pacific Grove, CA 93950 0 • Fax: 831.648.3184 • www.ci cation	anning Division tyofpacificgrove.org/cedd	Application # Date: Total Fees: Received by:	AP.16-767 8-30-16 \$3,209.30 LOH
	Project Address:	879 Marino T	Pines APN	: 00le-le	33-016
	Project Description:	RESIDENCE	ADDITION .	1st Floor	2 ADDITION
ä		OF 44 SQ. FT.	Zng STORY AD	DITION DI	= 347 SQ.FT.
WNE		ETC. RECONS	STRUCT COVERE	D PORCH	+
11/0	Appli	cant		Owner	
ICAN	Name: DARRIN	GAMBELLO	Name:	SAME -)[brin G.
APPI	Phone: 831-333	-1471 or 831.915.57	3(q(c)Phone: <u>831-333</u>	3-1471/831-9	915-5736()
	Email: DGAMBO	TLO @ GMAIL. COL	Email: DGA	mBELLO (e, GMAIL. COM
	Mailing Address: 876	9 MARINO PINES	Mailing Address: 🚬 🔁	579 MARINO	PINES
	PG., CA (13950	PG., Cr	7 93950	
Y:	Permit Request: CRD: Counter Determination AP: Architectural Permit AAP: Administrative AP ADC: Admin Design Change SP: Sign Permit UP: Use Permit CEOA Determination:	 AUP: Administrative UP UP-A: UP Amendment AUP-A: AUP Amendment SU: Second Unit LLA: Lot Line Adjustment LM: Lot Merger 	 IHS: Initial Historic Screenir HPP: Historic Preservation A: Appeal TPD: Tree Permit W/ Dev't PUU: Undocumented Unit VAR: Variance 	ng AVAR: Adm VAR-A: VAF AVAR-A: AV NMP: Mitig Stormwate Other:	inistrative VAR Amendment /AR Amendment gation Monitoring r Permit
ONI	Exempt	□ Staff □ HRC	□ Active Planning Permit	Butterfly Zone	
USE	Initial Study & Mitigated Negative Declaration		Active Building Permit Active Code Violation	 Coastal Zone Area of Specia 	l Biological
IG STAFF	 Environmental Impact Report 	ARB	Permit #:	Significance (A Environmental Habitat Area (SBS) Ily Sensitive ESHA)
LANNIN	Property Information Lot: <u>\4</u>	Block: 2	Tract:	hob at	Morino pinas
đ	KECEIVED	GP: MRO, 1=	14 PU/ac Lot Si	ze: <u>6974</u> .	79
	Historic Resources Invento	ry 🛛 Archaeologically	y Sensitive Area		
	Staff Use Only:	DATE			
ITY 'OM	OF PACIFIC GROVE S	31209.30 8-30-16			

CERTIFICATION -1, the undersigned, under penalty of perjury, depose and certify that 1 am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: _____

Owner Signature (Required):

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Date: _		
	A. L.	
Date: _	8/10/10.	

PROJECT DATA SHEET

Applicant(s):

Project Address: 879 Marino Pines

Submittal Date:

Permit Type(s) & No(s):

Applicant(s): Darrin Gambello Permit Type(s) & No(s):				
	Required/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		R-1	12-1	
Building Site Area		6974	6974	
Density (multi-family projects only)		NIA	NIA	
Building Coverage	3487	1733 to	1883	+150 59. A.
Site Coverage	50%	25%	27%	- CJ
Gross Floor Area	3200 0	1326	2,230	+ 497 0 54.
Square Footage not counted towards Gross Floor Area	1	Let Tor Man	372	notation and produce
Exterior Lateral Wall Length to be demolished*/Total Existing Wall Length	n/a	n/a	22+191 lf	
Exterior Lateral Wall Length to be built	n/a	n/a	27	
Building Height	25	12'	23'-1/2"	
Number of stories		zingle	2	
Front Setback	15	27'4"	27'4"	
west Side Setback (specify side)	10'	25'-6"	25'-6"	
East Side Setback (specify side)	10'	11-7"	11-7"	
Rear Setback	10'	10'	10'	
Garage Door Setback/Back-up Distance	. 20'	34-8"	271-4"	
Covered Parking Spaces		2	HAR	
Uncovered Parking Spaces	2	2	NZ-	
Parking Space Size	9' x 20'	9'x 20'	(2) 9'x20'	
Number of Driveways	1		1	
Driveway Width(s)	118'1	18'	18'	
Eave Projection(s) (Into Setback)	3' maximum	1'-5"	1-5"	@RYSB
Distances Between Eaves & Property Lines	3' minimum	8-7"	8-7"	REAR
Open Porch/Deck Projections		8	8'	no change
Architectural Feature Projection(s) (Into Setback)		none	none	0
Number & Category of Accessory Buildings	1	none	none	
Accessory Building Heights		NIA	NIA	
Accessory Building Setbacks		NIA	NIA	
Distance between Buildings		NIA	NIA	
Fence Heights		6'MAY	6'MAN	NO CHANGE

*If project proposes demolition to an HRI structure, also and all of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division 300 Forest Avenue, Pacific Grove, CA 93950 T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 16-767 FOR A PROPERTY LOCATED AT 879 MARINO PINES TO ALLOW A FIRST FLOOR ADDITION OF 44 SF AND A SECOND STORY ADDITION OF 347 SF TO AN EXISTING ONE STORY 1,326 SF RESIDENCE FOR A TOTAL OF A 2,230 SF TWO STORY RESIDENCE.

FACTS

- 1. The subject site is located at 102 2nd Street, Pacific Grove, 93950 APN 006-633-016
- 2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
- 3. The project site is located in the R-1 zoning district.
- 4. The subject site is 6,975 square feet.
- 5. The subject site is developed with a 1,326 sf single story single family dwelling.
- 6. The subject site went through the Initial Historic Screening process in July of 2016 and was determined to be ineligible for the Historic Resources Inventory.
- 7. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).

FINDINGS

- 1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements and;
- 2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines 28,31,34 and;
- 3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
- 4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 16-767:

To allow a first floor addition of 44 sf and a second story addition of 347 sf to an existing one story 1,326 sf residence for a total of a 2,230 sf two story residence.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

- 2. Construction Compliance. All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
- 3. **Terms and Conditions**. These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
- 4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
- 5. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
- 6. **Tree Protection Standards During Construction**: Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
- 7. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees
- 8. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
- 9. **Lighting**: All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12.
- 10. **Story Poles and Netting**: Following the 10 day appeal period all story poles and netting are required to be removed.
- 11. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.

Page 2 of 3

Permit No. AP 16-767

- 2. The Board authorizes Approval of Architectural Permit (AP) 16-767 To allow a first floor addition of 44 sf and a second story addition of 347 sf to an existing one story 1,326 sf residence for a total of a 2,230 sf two story residence.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 8th day of November, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Darrin Gambello, Owner

Date

Permit No. AP 16-767



CITY OF PACIFIC GROVE Community Development Department – Planning Division 300 Forest Avenue, Pacific Grove, CA 93950 T: 831.648.3190 • F: 831.648.3184 • <u>www.ci.pg.ca.us/cdd</u> NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 879 Marino Pines, Pacific Grove, CA 93950

Project Description: AP 160767

Description: To allow a1st floor addition of 44 sf and a 2nd story addition of 347 sf . To also reconstruct a covered porch APN: 006633016000 ZC: R-1 Lot Size: 6,975 sf

Applicant Name:Darrin GambelloPhone #:915.5736Mailing Address:879 Marino Pines Pacific Grove, Ca 9395093950Email Address:dgambello@gmail.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California
Exempt Status (Check One): Ministerial (Sec. 21080(b)(1):15268)) Declared Emergency (Sec. 21080(b)(3): 15269(a)) Emergency Project (Sec. 21080(b)(4); 15269(b)(c)) Categorical Exemption Type and Section Number: Class 1. Section 15301(e)(1) Statutory Exemption Type and Section Number:
Exemption Findings: The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: <u>Jaune D'Lallon</u>

Date: notober 28,2016



CITY OF PACIFIC GROVE

Community Development Department – Planning Division 300 Forest Avenue, Pacific Grove, CA 93950 T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd **Initial Historic Screening Determination**

Address:	879 Marino Pines	APN:	006-633-016	
Owner:	Darrin Gambello	Applicant:	N/A	

HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the <u>July 27, 2016</u> HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

Determined to be ineligible as an "Historical Resource," due to the following criteria:

- 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
 - _____(description of known alteration)
 - _____(type of documentation)
- 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
- or 2b. The property does not exhibit unique architectural, site or locational characteristics.
- 3. The property is not associated with important persons, events or architecture.

Determination of ineligibility cannot be made.

HRC Comments:

Maureen Mason, HRC Chair

12-7/1 G

COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.

Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 Form) is required.

Mark Brodeur. CEDD Director





SITE PLAN



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<u>S:</u> GINEER:	DARRIN A 879 MAR PACIFIC G (831) 33 REDWOOI LEONARD I 535 SEA SANTA CH (831) 42 CA P.E. # LINDA BU I 24 OTIS SANTA CH	ND FATIMA GAMBELLO NO PINES ROAD GROVE, CA 93950 3-1471 D ENGINEERING WILLIS P.E. ABRIGHT AVE., SUITE 200 RUZ, CA 95062 G-8444 G207G TLER, CEPE STREET RUZ, CA 95060	SHEE TI T2 AI A2 A3 F A4 A5 F A6 ENI	T INDEX TITLE SHEET CALGREEN MANDAT EXISTING FLOOR PL EXISTING ELEVATIO PROPOSED LOWER PROPOSED ROOF F PROPOSED ROOF F PROPOSED ELEVAT ELECTRICAL PLAN ENERGY COMPLIAN	FORY MEASURES AN NS AND UPPER FLOOR PLAN PLAN AND SECTION HONS		WWW CANADA CANAD	No. 62076	US CIVIL FORMER STATES	
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FOUNDATION PLAN SI UPPER FLOOR AND ROOF FRAMING PLANS 52 STRUCTURAL DETAILS SDI STRUCTURAL DETAILS SD2

ADDITION

GAMBELLO RESIDENCE A 879 MARINO PINES ROAD PACIFIC GROVE, CA 93950

JOB NUMBER: 1673

BUILDING DEPARTMENT SUBMITTAL SET AUGUST 11, 2016

006-633-016

SHEET

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OFFICE NOTE:

REVISIONS:

Chapter 4 Mandatory Requirements For Residential Dwellings

Table 4.504.1 Adhesive VOC Limit ^{1, 2} (Less Water and Less Exempt Compounds in Grams per Liter)			
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT		
Indoor Carpet Adhesives	50		
Carpet Pad Adhesives	50		
Outdoor Carpet Adhesives	150		
Wood Flooring Adhesive	100		
Rubber Floor Adhesives	60		
Subfloor Adhesives	50		
Ceramic Tile Adhesives	65		
VCT and Asphalt Tile Adhesives	50		
Drywall and Panel Adhesives	50		
Cove Base Adhesives	50		
Multipurpose Construction Adhesives	70		
Structural Glazing Adhesives	100		
Single-Ply Roof Membrane Adhesives	250		
Other Adhesive not specifically listed	50		
SPECIALTY APPLICATIONS			
PVC Welding	510		
CPVC Welding	490		
ABS Welding	325		
Plastic Cement Welding	250		
Adhesive Primer for Plastic	550		
Contact Adhesive	80		
Special Purpose Contact Adhesive	250		
Structural Wood Member Adhesive	140		
Top and Trim Adhesive	250		
SUBSTRATE SPECIFIC APPLICATIONS			
Metal to Metal	30		
Plastic Foams	50		
Porous Material (except wood)	50		
Wood	30		
Fiberglass	80		
¹ If an adhesive is used to bond dissimilar substrates together, the adhesive w	ith the highest VOC content shall be allowed.		

² For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

Guide to the 2013 California Green Building Standards Code (Residential)

Table 4.504.2 Sealant VOC Limit (Less Water and Less Exempt Compounds in Grams per Liter)				
SEALANTS	CURRENT VOC LIMIT			
Architectural	250			
Marine Deck	760			
Nonmembrane Roof	300			
Roadway	250			
Single-Ply Roof Membrane	450			
Other	420			
SEALANT PRIMERS				
Architectural				
Non Porous	250			
Porous	775			
Modified Bituminous	500			
Marine Deck	760			
Other	750			

(Grams of VOC per Liter of Coating, Less Water ar	nd Less Exempt Compounds)
COATING CATEGORY	G/L
Flat coatings	50
Nonflat coatings	100
Nonflat - high gloss coatings	150
Specialty Coatings	·
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings1	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers, and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

² The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

³ Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

Table 4.504.5 Formaldehyde Limits1 Maximum Formaldehyde Emissions in Parts per Million				
PRODUCT	CURRENT LIMIT			
Hardwood plywood veneer core	0.05			
Hardwood plywood composite core	0.05			
Particleboard	0.09			
Medium density fiberboard	0.11			
Thin medium density fiberboard ²	0.13			

 1 Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.



SECTION MEASURES

101.3.1

202

301.1.1

301.2

4.106.2

4.106.3

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5.201.1

State-regulated

Definitions

Additions and

Low-Rise and

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Drainage and

Retention During

Grading and Paving buildings.

Storm Water

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4.303.1 Plumbing Fixtures

4.303.2 Plumbing Fixtures

4.304.1

and Fittings

High-Rise

Residential

Buildings

alterations

hapter 3 GREEN BUILDIN

2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes Significant Changes from 2010 CALGREEN)



	2013 CALGREEN CODE
	EFFECTIVE JANUARY 1, 2014
	2013 CALGREEN REQUIREMENTS AND CHANGES FROM 2010 CALGREEN
1	
REVISED	Expands the scope of CALGreen to include ALL low-rise, high-rise, and hotel/motel buildings of Group R occupancy.
NEW: REVISED REVISED NEW:	Relocates all definitions to Chapter 2. Other chapters include only defined terms and a reference to Chapter 2. Modifies "residential building" to include "low-rise residential buildings" and "high-rise residential buildings." Clarifies "low-rise residential building" as a Group R occupancy that is 3 stories or less and deletes reference to one- or two-family dwellings or townhouses. Defines "high-rise residential building" as a Group R occupancy that is 4 stories or greater in height.
1	
NEW: NEW:	Clarifies that mandatory measures in Chapter 4 apply to additions or alterations of residential buildings and specifies that requirements only apply to the specific area of the addition or alteration. Adds a note directing code users to review Civil Code, Section 1101.1 et seq., regarding mandatory replacement of non-compliant plumbing fixtures.
NEW: NEW:	Clarifies that CALGreen may apply to either low-rise or high-rise residential buildings or both. New "banners" [LR] and [HR] as identifying provisions applying only to low-rise or high-rise residential structures, respectively.
GN (SITE I	DEVELOPMENT)
NO CHAN Projects w drainage o	IGE FROM 2010 CALGREEN rhich disturb less than one acre of soil and are not part of a larger common plan of development shall manage storm water during construction.
NO CHAN Constructi buildings.	IGE FROM 2010 CALGREEN on plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering
REVISED REVISED	 Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotel/motel (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2013 California Energy Code [code reference date updated from 2010 to 2013].
AND CONS	SERVATION (INDOOR WATER USE)
REVISED REPEALE	 20% reduction of water use are now prescriptively designated within CALGREEN text. D: Prescriptive and performance methodology, Tables 4.303.1 and 4.303.2.
NEW:	Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 Waters Closets: ≤ 1.28 gal/flush 4.303.1.2 Urinals: ≤ 0.5 gal/flush 4.303.1.3.1 Single Showerheads: ≤ 2.0 gpm @ 80 psi 4.303.1.3.2 Multiple Showerheads: combined flow rate of all showerheads and/or other shower outlets controlled by a single
	Valve shall not exceed 2.0 gpm @ 80 psi or only one shower outlet is to be in operation at a time 4.303.1.4.1 Residential Lavatory Faucets: ≤ 1.5 gpm @ 60 psi 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi 4.303.1.4.3 Metering Faucets: ≤ 0.25 gallons per cycle 4.303.1.4.4 Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
REVISED REVISED	 Specifies that plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code. Relocates provisions for multiple showerheads to Section 4.303.1.3.2.
REPEALE	D: Table 4.303 "Standards for Plumbing Fixtures and Fixture Fittings." Code users are directed, in Section 4.303.2,





SECTION MEASURES

vision 4.5 - ENVIRONMENTAL QUA

4.504.2.2 Paints and Coatings

Coatings

Carpet Systems

Carpet Cushior

Carpet Adhesive

omposite Wood

oncrete Slab

oundations

Capillary Break

2 - Other equivalent methods approved by the enforcing agency.

PAGE 3

3 - A slab design specified by a licensed design professional.

4.504.2.3

4.504.3

4.504.3.1

4.504.3.2

4.504.4

4.504.5

4.505.2

4.505.2.1

Aerosol Paints and

2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes Significant Changes from 2010 CALGREEN)



2013 CALGREEN CODE	
EFFECTIVE JANUARY 1, 2014	
2013 CALGREEN REQUIREMENTS AND CHANGES FROM 2010 CALGREEN	
LITY (POLLUTANT CONTROL Continued)	
IO CHANGE FROM 2010 CALGREEN rchitectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Mea s shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for pecialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss oating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Contro leasure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.	asure, r the ol
O CHANGE FROM 2010 CALGREEN erosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(3) and other requirements, includir rohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(c)(2) and (d)(2) of the California Code legulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management Distric dditionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.	ng of ct shall
O CHANGE FROM 2010 CALGREEN Il carpet installed in the building interior shall meet the testing and product requirements of one of the following: - Carpet and Rug Institute's Green Label Plus Program - California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) - NSF/ANSI 140 at the Gold level - Scientific Certifications Systems Indoor Advantage™ Gold	I
O CHANGE FROM 2010 CALGREEN Il carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Program.	
O CHANGE FROM 2010 CALGREEN Il carpet adhesives shall meet the requirements of Table 4.504.1.	
 EVISED: Compliance rate of resilient flooring is increased from 50% to 80%. Related changes are made for Tier 1 and Tier 2 resilient ooring measures. Vhere resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products compliant with CHPS criteria certified under the Greenguard Children & Schools program. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 	
O CHANGE FROM 2010 CALGREEN FOR 4.504.5. Referenced Table 4.504.5 has been revised to delete obsolete compliance date lardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building hall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood 17 CCR 93120 et. seq.), on or before the dates specified in those sections as shown in Table 4.504.5. Documentation is required per lection 4.504.5.1.	s. I
refinition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberbi Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand lued laminated timber, prefabricated wood I-joists, or finger-jointed lumber, all as specified in CCR, Title 17, Section 93120.1(a).	oard. board,
LITY (INTERIOR MOISTURE CONTROL)	
O CHANGE FROM 2010 CALGREEN concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 1 r the California Residential Code, Chapter 5, respectively, shall also comply with this section.	9,
O CHANGE FROM 2010 CALGREEN capillary break shall be installed in compliance with at least one of the following: - A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.	

The regulatory text for Table 4.504.5 has been amended for the 2013 code.

 2 Thin medium density fiberboard has a maximum thickness of 5/16" (8 millimeters).

2013 CALGREEN MANDATORY MEASURES

ltem 7a

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EXISTING FLOOR PLAN





DEMOLISH OTHER





EXISTING WEST ELEVATION



|/4" = |'-0"

EXISTING SOUTH ELEVATION

|/4" = |'-0"



EXISTING EAST ELEVATION

EXISTING NORTH ELEVATION



A2



WINDOW TYPE	SIZE	WALL THICKNESS	OPERATION	HEADER HEIGHT	ADDITIONAL WINDOW NOTES	# OF UNITS
IA	4'-0" X 4'-0"	3.5"	SLIDER	MATCH (E)	.32 U-FACTOR	I
ΙB	2'-6" X 2'-6"	5.5"	FIXED	7'-0"	.32 U-FACTOR	6
IC	4'-0" X 4'-0"	5.5"	SLIDER	7'-0"	.32 U-FACTOR	3
ID	3'-0" X 3'-0"	-	FIXED	-	SKYLIGHT	I





PROPOSED ROOF PLAN

SHEET

A4

|/4" = |'-0"













LOWER FLOOR ELECTRICAL PLAN

|/4" = |'-0"

UPPER FLOOR ELECTRICAL PLAN

|/4" = |'-0"

ltem 7a



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Gambello Residence Calculation Description: Title 24 Analysis

Calculation Date/Time: 14:06, Wed, Aug 10, 2016 Input File Name: Gambello 8.10.16.xml

PAQUE SURFACES									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window & Door Area (ft ²)	Tilt (deg)	Status	Verified Existing Condition
Front: To Remain	(E) 1st Floor	R-0 Wall	0	Front	384	104	90	Existing	No
Left: To Remain	(E) 1st Floor	R-0 Wall	90	Left	222	10	90	Existing	No
Rear: To Remain	(E) 1st Floor	R-0 Wall	180	Back	544	106	90	Existing	No
Right: To Remain	(E) 1st Floor	R-0 Wall	270	Right	28	0	90	Existing	No
Wall to Addition	(E) 1st Floor>>Garage	R-0 Wall1			176	0		New	N/A
New Roof 2	(E) 1st Floor	R-38 Roof Attic			319			New	N/A
Raised Floor 2	(E) 1st Floor	R-0 Floor Crawlspace			1326			Existing	No
Front: New	Addition 1st Floor	R-15 Wall1	0	Front	48	16	90	New	N/A
Wall to Garage	Addition 1st Floor>>Garage	R-15 Wall			192	0		New	N/A
Roof	Addition 1st Floor	R-38 Roof Attic			220			New	N/A
Raised Floor 3	Addition 1st Floor	R-19 Floor Crawlspace			220			New	N/A
Front: New 2	Addition 2nd Floor	R-19 Wall	0	Front	114	19	90	New	N/A
Left: New	Addition 2nd Floor	R-19 Wall	90	Left	222	0	90	New	N/A
Rear: New	Addition 2nd Floor	R-19 Wall	0	Front	114	19	90	New	N/A
Right: New	Addition 2nd Floor	R-19 Wall	270	Right	222	48	90	New	N/A
Wall to Addition 3	Addition 2nd Floor>>Garage	R-0 Wall1			1	0		New	N/A
Roof 2	Addition 2nd Floor	R-38 Roof Attic			385			New	N/A
Raised Floor	Addition 2nd Floor	R-30 Floor No Crawlspace			347			New	N/A
Front:	Garage	R-0 Wall	0	Front	48	0	90	New	N/A
Right:	Garage	R-0 Wall	270	Right	192	0	90	New	N/A
Wall to Addition 4	Garage>>(E) 1st Floor	R-15 Wall			192	0		New	N/A
Wall to Addition 5	Garage>>(E) 1st Floor	R-15 Wall			48	0		New	N/A
Wall to Addition 6	Garage>>(E) 1st Floor	R-15 Wall			1	0		New	N/A

Registration Number:

HERS Provider: Registration Date/Time: Report Generated at: 2016-08-10 14:07:55 CA Building Energy Efficiency Standards - 2013 Residential Compliance Report Version - CF1R-04072016-744

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01 Calculation Date/Time: 14:06, Wed, Aug 10, 2016 Page 6 of 8

Project Name: Gambello Residence

Calculation Description: Title 24 Analysis Input File Name: Gambello 8.10.16.xml

	Exterior Walls	Wood	Framed Wall	2x6 @	2 16 in. O	C.	R 19	0.	069	 Inside Cavity Exterior Siding/ 	Finish: Gypsum / Frame: R-19 / / pr Finish: Wood /sheathing/decki	Board 2x6 ng
awlspace	Exterior Floors	Wood F	Framed Floor	2x10	@ 16 in. C	.C.	R 25	0.	039	 Floor 5 Floor 1 Cavity 	Surface: Carpete Deck: Wood Sidii / Frame: R-25 / J	d ng/sheathing/deckir 2x10
YSTEMS												
	02	1	0	3			04		05	06	6 07	08
Name S			Distribut	on Type		w	ater Heater	Nu	mber of eaters	Sol Fract (%	ar tion) Status	Verified Existin Condition
1	DHW		Stan	dard		Dł	HW Heater 1		1	Ann	ual Existing	No
											,	
T	02			03	04		05		06		07	08
	Heater Eleme	ent Type	Та	nk Type	Tank Vo (ga	lume I)	Energy Facto Efficiency	r or Ir	put Rating	ı İns	Tank Exterior sulation R-value	Standby Loss (Fraction)
er 1	Natural C	àas	Sma	ll Storage	50		0.575 EF	4	0000-Btu/hr		0	0
HERS VERIFI										1	00	07
		02		03			04	0	5	Desire	U0	U7
9	Pipe	Insulation		Parallel Pipi	ng	Comp	act Distribution	Point-o	of Use	Man	ual Control	Sensor Control
/s 1		n/a		n/a			n/a	n/	a		n/a	n/a
	s 											
02		03	5		04		05	06	07		08	09
System	Type	Heating	System	Name	ng Syster	n	Distribution System	Fan System	Floor /	Area	Status	Verified Existi
Other Heat	ing and H	eating	Yes	Cooling			Air Distribution	HVAC Fan	189	3	Existing	No
	wlspace YSTEMS YSTEMS r 1 HERS VERIFI s rs 1 ING SYSTEM 02 System Other Heat	Exterior Walls Wispace Exterior Floors YSTEMS 02 System Type 1 DHW 1 DHW 1 ING SYSTEMS 02 System Type N Other Heating and H	Exterior Walls Wood I wlspace Exterior Floors Wood F YSTEMS O2 YSTEMS I System Type I 1 DHW 1 DHW Image:	Exterior Walls Wood Framed Wall wlspace Exterior Floors Wood Framed Floor YSTEMS O2 O2 System Type Distributi DHW Stand 1 DHW System Type Distributi 1 DHW System Type Tail Heater Element Type Tail r 1 Natural Gas HERS VERIFICATION 02 S1 n/a NG SYSTEMS 03 O2 03 Heating System Yos	Exterior Walls Wood Framed Wall 2x6 0 wlspace Exterior Floors Wood Framed Floor 2x10 YSTEMS O2 03 System Type Distribution Type 1 DHW Standard 02 03 Heater Element Type Tank Type r 1 Natural Gas Small Storage	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O. wlspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O. YSTEMS O2 O3 O4 System Type Distribution Type 0 1 DHW Standard 02 03 04 Heater Element Type Tank Type Gga r 1 Natural Gas Small Storage 50 HERS VERIFICATION O2 O3 O4 ING SYSTEMS In/a n/a In/a 02 03 04 Heating System Type Name Other Heating and Heating Yes Cooling	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. w/space Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. YSTEMS O2 03 O3 Image: System Type Distribution Type W 1 DHW Standard DH 1 Natural Gas Small Storage 50 HERS VERIFICATION 1 Natural Gas Small Storage 50 HERS VERIFICATION 1 n/a n/a 1 1 n/a n/a 1 1 1 n/a n/a 1 1 1 Na n/a 1 1 1 n/a n/a 1 1 1 n/a n/a 1 1 1 Na Na 04 1 1 Na Na Na 1 1 n/a n/a 1 1	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 wlspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 YSTEMS O2 03 04 System Type Distribution Type Water Heater 1 DHW Standard DHW Heater 1 Vertice O2 03 04 05 1 DHW Standard DHW Heater 1 Vertice O2 03 04 05 1 DHW Standard DHW Heater 1 Vertice O2 03 04 05 1 DHW Standard DHW Heater 1 Vertice Tank Type Tank Volume (gal) Energy Facto Efficiency r1 Natural Gas Small Storage 50 0.575 EF HERS VERIFICATION 02 03 04 04 9 Pipe Insulation Parallel Piping Compact Distribution r1 n/a n/a n/a 1 NG SYSTEMS 02 03 04 05 02 03 04 05 04 02 03 04 05 Vertice	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 0. wilspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 0. YSTEMS 02 03 04 Nu ystem Type Distribution Type Water Heater Nu 1 DHW Standard DHW Heater 1 Nu 02 03 04 05 1 DHW Standard DHW Heater 1 1 1 DHW Standard DHW Heater 1 1 1 O2 03 04 05 1 DHW Standard DHW Heater 1 1 1 Natural Gas Small Storage 50 0.575 EF 4 HERS VERIFICATION 02 03 04 06 02 03 04 06 06 1NG SYSTEMS 02 03 04 05 06 02 03 04 05 06 System Type Name Ducted Name Ducted System 02 03 04 05 06 02 03 04 05 06	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 0.069 wilspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 0.039 YSTEMS O2 03 04 05 Value System Type Distribution Type Water Heater Number of Heaters 1 DHW Standard DHW Heater 1 1 02 03 04 05 06 1 DHW Standard DHW Heater 1 1 02 03 04 05 06 1 DHW Standard DHW Heater 1 1 1 Natural Gas Small Storage 50 0.575 EF 40000-Btu/hr HERS VERIFICATION 02 03 04 05 06 1 n/a n/a n/a n/a n/a ING SYSTEMS 02 03 04 05 06 02 03 04 05 06 07 System Type Name Ducted Name Ducted Distribution Viber Heating and Heating Yes Cooling No Air Distribution <td>Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 0.069 - Inside Cavity - Store Store Store Store Store wlspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 0.039 - Floor I Floor I YSTEMS 02 03 04 05 06 System Type Distribution Type Water Heater Number of Heaters Sole (%) 1 DHW Standard DHW Heater 1 1 Ann 02 03 04 05 06 Frace (%) 1 DHW Standard DHW Heater 1 1 Ann 1 DHW Standard DHW Heater 1 1 Ann 1 Natural Gas Small Storage 50 0.575 EF 40000-Btu/hr HERS VERIFICATION 02 03 04 05 Recirr Man 1 n/a n/a n/a n/a Na 1 n/a n/a n/a Floor Area 1 Name Ducted Name System Type Floor Area</td> <td>Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 0.69 Inside Finish: Gypsum. Cavity / Frame: R-197 wilspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 0.09 Floors Floor Sufface: Carpete Floor Deck: Wood Skift VSTEMS 02 03 04 05 06 07 VSTEMS 01 DHW Standard DHW Heater Number of Heaters Solar 1 DHW Standard DHW Heater 1 1 Annual Existing 02 03 04 05 06 07 Status 1 DHW Standard DHW Heater 1 1 Annual Existing 1 DHW Standard DHW Heater 1 1 Annual Existing 1 DHW Standard DHW Heater 1 1 Annual Existing 1 Natural Gas Small Storage 50 0.575 EF 40000-Btu/hr 0 1 Natural Gas Small Storage</td>	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 0.069 - Inside Cavity - Store Store Store Store Store wlspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 0.039 - Floor I Floor I YSTEMS 02 03 04 05 06 System Type Distribution Type Water Heater Number of Heaters Sole (%) 1 DHW Standard DHW Heater 1 1 Ann 02 03 04 05 06 Frace (%) 1 DHW Standard DHW Heater 1 1 Ann 1 DHW Standard DHW Heater 1 1 Ann 1 Natural Gas Small Storage 50 0.575 EF 40000-Btu/hr HERS VERIFICATION 02 03 04 05 Recirr Man 1 n/a n/a n/a n/a Na 1 n/a n/a n/a Floor Area 1 Name Ducted Name System Type Floor Area	Exterior Walls Wood Framed Wall 2x6 @ 16 in. O.C. R 19 0.69 Inside Finish: Gypsum. Cavity / Frame: R-197 wilspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 25 0.09 Floors Floor Sufface: Carpete Floor Deck: Wood Skift VSTEMS 02 03 04 05 06 07 VSTEMS 01 DHW Standard DHW Heater Number of Heaters Solar 1 DHW Standard DHW Heater 1 1 Annual Existing 02 03 04 05 06 07 Status 1 DHW Standard DHW Heater 1 1 Annual Existing 1 DHW Standard DHW Heater 1 1 Annual Existing 1 DHW Standard DHW Heater 1 1 Annual Existing 1 Natural Gas Small Storage 50 0.575 EF 40000-Btu/hr 0 1 Natural Gas Small Storage

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance Report Version - CF1R-04072016-744

Registration Date/Time:

HERS Provider: Report Generated at: 2016-08-10 14:07:55

Calculation Description: Tit	tle 24 Analysis	alysis Input File Name: Gambello 8.10.16.xml											
REQUIRED SPECIAL FEATUR	ES												
The following are features that n	nust be installed as cond	lition for me	eting the modeled	energy i	performa	ance for this cor	nputer	analysis.					
 Ceiling has high level of ins Floor has high level of insul 	ulation lation						<u> </u>						
HERS FEATURE SUMMARY													
The following is a summary of th provided in the building component	ne features that must be f ents tables below.	field-verified	d by a certified HEI	RS Rate	er as a co	ondition for mee	eting the	e modeled e	energy perf	ormance fo	r this computer	analys	sis. Additional detail
Building-level Verifications: • None Cooling System Verifications: • None HVAC Distribution System Ver • None Domestic Hot Water System V • None	ifications: /erifications:												
ENERGY DESIGN RATING													
This is the sum of the annual TE TDV energy consumption for ligh on-site renewable energy system	V energy consumption for nting and components no n.	or energy u	se components inc by Title 24, Part 6	cluded in (such a	the perf s domes	formance comp tic appliances a	liance and cor	approach fo nsumer elec	or the Stand stronics) and	ard Design d accountin	Building (Ener g for the annua	rgy Buc al TDV	dget) and the annual energy offset by an
		Refere	ence Energy Use			Energy	Desig	n Rating		Marg	jin 🛛	Perce	ent Improvement
Total Energy (kTDV/f	2-yr)*		105.66				105.43	3		0.2	3		0.2%
* includes calculated Appliances	and Miscellaneous Ener	rgy Use (AN	MEU)										
BUILDING - FEATURES INFOR	RMATION												
01	02		03			04		05			06		07
Project Name	Conditioned Floor	Area (ft2)	Number of Dwe Units	elling	Number	of Bedrooms	Nu	Number of Zones		Number of Ventilation Cooling Systems			Number of Water Heating Systems
Gambello Residence	1893		1			3		3			0		1
ZONE INFORMATION												1	
01	02		03			04		05		()6		07
Zone Name	Zone Type		HVAC Syste	m Name	e	Zone Floor (ft ²)	Area	Avg. Cei Heigh	iling ht V	Vater Heati	ing System 1	Wat	er Heating System
(E) 1st Floor	Conditioned		(E) FA	U1		1326		8		DHW	' Sys 1		
Addition 1st Floor	Conditioned		(E) FA	U1		220		8		DHW Sys 1			
Addition 2nd Floor	Conditioned		(E) FA	U1		347		8.1		DHW	' Sys 1		
Registration Number: CA Building Energy Efficiency St	andards - 2013 Resident	tial Complia	Registra ance Report	ation Da [.] Version	te/Time - CF1R-C	:)4072016-744				HE Re	RS Provider: port Generated	d at: 20	016-08-10 14:07:55
CERTIFICATE OF COMPLIA Project Name: Gambello Re Calculation Description: Tr	ANCE - RESIDENTIAI esidence tle 24 Analysis	L PERFOI	RMANCE COMF	PLIANC	E MET Calcu Input	HOD ulation Date/ t File Name: (Time: Gambe	14:06, We ello 8.10.1	ed, Aug 10 6.xml	, 2016			CF1R-PRF- Page 5 of
OPAQUE SURFACE CONSTRU	ICTIONS												
01	02	03	3		04			05	06			07	
Construction Name	Surface Type	Construct	ion Type	I	Framing		Total R-	I Cavity value	Winter De U-valu	esign	Ass	sembly	Layers
	Extorior Mello	Wood Free	mod Wall	0.4	@ 16 :~	0.0	-		0.000	• [] • C • E	Sole Finish: G Cavity / Frame: Exterior Finish:	ypsum no insu Wood	ылани Jl. / 2x4
H-U Wall	Exterior walls	wood Fran	neu wali	2x4 (e ເບເກ.	16 in. O.C.		une	0.302		Siding/sheathing/decking		шy

 Inside Finish: Gypsum Board • Cavity / Frame: R-15 / 2x4 R 15 0.086 R-15 Wall Interior Walls Wood Framed Wall 2x4 @ 16 in. O.C. • Other Side Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Top Chrd Roof Deck: Wood Siding/sheathing/decking 2x4 Top Chord of Roof Truss @ 24 Attic Roof(E) 1st Floor Attic Roofs Wood Framed Ceiling in. O.C. none 0.644 • Roofing: Light Roof (Asphalt Shingle) Inside Finish: Gypsum Board · Cavity / Frame: no insul. / 2x4 0.277 • Other Side Finish: Gypsum Board R-0 Wall1 Interior Walls Wood Framed Wall 2x4 @ 16 in. O.C. none • Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Floors Over 0.216 • Cavity / Frame: no insul. / 2x12 R-0 Floor Crawlspace Crawlspace Wood Framed Floor 2x12 @ 16 in. O.C. none Inside Finish: Gypsum Board Ceilings (below attic) • Cavity / Frame: R-9.1 / 2x4 0.025 R-38 Roof Attic Wood Framed Ceiling 2x4 @ 24 in. O.C. R 38 • Over Floor Joists: R-28.9 insul. Inside Finish: Gvpsum Board • Cavity / Frame: R-38 / 2x4 Roof Deck: Wood Siding/sheathing/decking 0.036 • Roofing: Light Roof (Asphalt Shingle) R-38 Roof Attic1 Cathedral Ceilings Wood Framed Ceiling 2x4 @ 24 in. O.C. R 38 • Cavity / Frame: no insul. / 2x4 Top Chrd 4 Top Chord of Roof Truss @ 24 Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle) Attic RoofAddition 1st Floor Attic Roofs Wood Framed Ceiling in. O.C. none 0.644 Inside Finish: Gypsum Board • Cavity / Frame: R-15 / 2x4 • Exterior Finish: Wood 0.089 R-15 Wall1 Exterior Walls Wood Framed Wall 2x4 @ 16 in. O.C. R 15 Siding/sheathing/decking • Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking loors Over R-19 Floor Crawlspace Crawlspace Wood Framed Floo 2x6 @ 16 in. O.C. R 19 0.049 • Cavity / Frame: R-19 / 2x6 • Cavity / Frame: no insul. / 2x4 Top Chrd 2x4 Top Chord of Roof Truss @ 24 Roof Deck: Wood Siding/sheathing/decking Attic RoofAddition 2nd Floor Attic Roofs Wood Framed Ceiling in. O.C. none 0.644 • Roofing: Light Roof (Asphalt Shingle)

Registration Number:

Project Name: Gambello Residence

umentation Author Name:

Linda Butler

124 Otis Street

Regulations.

ty/State/Zip:

ponsible Designer Name:

Leonard Willis

Redwood Engineering

Santa Cruz, CA 95062

1535 Seabright Avenue, Ste 200

y/State/Zip: Santa Cruz, CA 95060

Calculation Description: Title 24 Analysis

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

INTELLIGENT HOUSE DESIGN

RESPONSIBLE PERSON'S DECLARATION STATEMENT

. I certify that this Certificate of Compliance documentation is accurate and complete.

certify the following under penalty of perjury, under the laws of the State of California:

CA Building Energy Efficiency Standards - 2013 Residential Compliance Report Version - CF1R-04072016-744

HERS Provider:

CF1R-PRF-01

Page 8 of 8

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Com		sidential Complianc	Registration Date/Time: ance Report Version - CF1R-04072016-744					HERS Provider: Report Generated at: 2016-08-10 14:07:55				
CERTIFICATE OF COMPL Project Name: Gambello F Calculation Description:	IANCE - RESIDE Residence Title 24 Analysis	NTIAL PERFORM	IANCE COMPLI	ANCE METHOD Calculati Input File) on Date/Time: 1 • Name: Gambel	4:06, Wed, Aug lo 8.10.16.xml	g 10, 2016			CF1R-PRF-01 Page 7 of 8		
HVAC - HEATING SYSTEMS												
	01			02	2			03				
	Name			Туј	be	Efficiency						
Heating	Component 1		Cr	ntrlFurnace - Fuel-	fired central furnace		78 AFUE					
HVAC - COOLING SYSTEMS												
01		02	03		04	05	06		07			
				Efficiency			Multi	speed				
Name	Syst	ет Туре	EER		SEER	Zonally Contro	olled Comp	ressor	HERS	Verification		
Cooling Component 1	NoCooling - No	cooling equipment	N/A		N/A	No	1	lo		N/A		
	TEMO											
INAC - DISTRIBUTION STS			04	05								
01	02	03	04	05	06	06 07		09		10		
Name Type Duct Leakage		R-value	Supply Duct Location	Location	Bypass Duct	Status	Verified E Condi	tion	HERS Verification			
Air Distribution System 1 Duc	ts located in attic	Existing (not specified)	4.2	Attic	Attic	None	Existing	No		N/A		

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Project Name: Gam	bello Res	idence			Calculati	on Date/Time: 1	4:06, Wed, Aug	g 10, 2016			Page 7 of 8	
Calculation Description: Title 24 Analysis Input File Name: Gambello 8.10.16.xml												
HVAC - HEATING SYS	STEMS											
	0	1			0	2			03			
	Nai	me			Ту	ре		Efficiency				
	Heating Co	mponent 1		CntrlFurnace - Fuel-fired central furnace					78 AFUE			
HVAC - COOLING SY	STEMS											
01			02	03		04	05		06		07	
					Efficiency			Multi	-sneed			
Name		Syst	em Type	EER		SEER	Zonally Contro	olled Com	pressor	HERS	Verification	
Cooling Compone	ent 1	NoCooling - No	cooling equipmen	t N/A		N/A	No		No		N/A	
HVAC - DISTRIBUTIC	N SYSTEM	MS							_			
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Name		Туре	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified E Condi	Existing	HERS Verification	
Air Distribution System 1	Ducts lo	ocated in attic	Existing (not specified)	4.2	Attic	Attic	None	Existing	No)	N/A	

Name	
Air Distribution System 1	Duc
IAQ (Indoor Air Qualit	ty) FAN
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GENER	AL INFORMATION
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Attic RoofAddition 2nd Floor Ventilated 6 0.1 0.85

	Name
	(E) Windows
	(E) Glazed Doors
	(E) Windows 2
	(E) Windows 3
	(E) Glazed Doors 2
	Skylight
	New Window
	New Window 2

10		

/decking _____ 0

Existing dition _____ 0 y Loss tion) , _____

ion with Control _____ Existing dition

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.

worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Registration Date/Time:

Calculation Date/Time: 14:06, Wed, Aug 10, 2016

Input File Name: Gambello 8.10.16.xml

ocumentation Author Signature:

8/10/2016

831-345-1028

esponsible Designer Signature:

831-426-8444

CEA/HERS Certification Identification (If applicable):

Signature Date:

I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of

Date Signed:

License:

The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents,

Report Generated at: 2016-08-10 14:07:55

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New Window 3

New Window 4

Registration Number:					Registration Date/Time:				HERS Provider:			
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Calculation Descri	ption: Titl	e 24 Analysis			Input Fil	e Name: Gambel	llo 8.10.16.xml					
HVAC - HEATING SY	STEMS											
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HVAC - COOLING SY	STEMS											
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Cooling Compon	Cooling Component 1 NoCooling		o cooling equipment	N/A N/A No		No		No		N/A		
HVAC - DISTRIBUTI	ON SYSTE	MS										
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Name		Туре	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified E Cond	Existing ition	HERS Verification	
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ENERGY CONSULTANT LINDA BUTLER, CEPE 124 OTIS STREET SANTA CRUZ, CA 95060 PHONE: 831-345-1028 E-Mail: Ibutler0853@gmail.com

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Project Na	ATE OF COM	PLIANCE - RESIDE	ITIAL PERFORM	IANCE CON	IPLIAN	CE METHO	D							CF1	R-PRF-01
	Project Name: Gambello Residence					Calcula	tion Date/Time	e: 14:06,	Wed, Aug	10, 2016				P	age 1 of 8
Calculatio	n Descriptio	n: Title 24 Analysis				Input Fi	le Name: Gam	bello 8.1	10.16.xml						
GENERALI	NFORMATION	1													
01		Proiect Na	ne Gambello Resi	dence											
02		Calculation Descripti	on Title 24 Analysi	is											
03		Project Locat	on 879 Marino Pin	es Road											
04		(ity Pacific Grove			0	5		Standa	ards Version	Complianc	e 2015	5		
06		Zip Co	de 93950			0	7	Comp	liance Mana	ger Version	BEMCmpN	/ gr 201	13-4 (74	14)	
08		Climate Zo	ne CZ3			0	9		Softw	are Version	EnergyPro	6.6			
10		Building Ty	pe Single Family			1	1	Front Or	rientation (d	eg/Cardinal)	0				
12		Project Sco	pe Addition and/or	Alteration		1	3	Nu	mber of Dw	elling Units	1				
14	Т	otal Cond. Floor Area ((t ²) 1893			1	5		Numb	er of Zones	3				
16		Slab Area (it ²) 0			1	7		Numbe	er of Stories	2				
18	ļ	ddition Cond. Floor A	'ea 567			1	9		Natural Ga	as Available	Yes				
20		Addition Slab Area (it ²) 0			2	1		Glazing Per	rcentage (%)	17.5%				
						•									
OMPLIAN															
01	Build	ing Complies with Con	puter Performanc	e											
02	This I	ouilding DOES NOT rec	uire HERS Verifica	ation											
03	This I	ouilding incorporates of	one or more Specia	al Features sl	hown be	elow									
					ENE	RGY USE SL	JMMARY								
		04		05			06			07			(08	
	Energy Use	(kTDV/ft ² -yr)	Sta	Standard Design Propose		oposed Design		Compl	iance Margiı	n	Per	cent In	nprovei	nent	
	Space	Heating		38.81			39.36			-0.55			-1.	.4%	
	Space	Cooling		0.89			0.11			0.78			87	.6%	
	IAQ Ve	ntilation		0.00			0.00			0.00			0.	0%	
	Water	Heating		15.52			15.52	15.52		0.00			0.	0%	
	Photovo	taic Offset				_	0.00 0.0			0.00					
	Compliance	Energy Total		55.22			54.99			0.23			0.	4%	
Registration Number: Registration Date/Time: HERS Provider: CA Building Energy Efficiency Standards - 2013 Residential Compliance Report Version - CF1R-04072016-744 Report Generated at: 2016-08-10 14:07:55 CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01 Project Name: Gambello Residence Calculation Date/Time: 14:06, Wed, Aug 10, 2016 Page 4 of 8															
		athedral Cailings				-									
)1)1	02	03	04	05		06	07	08	09	10	11		12	13
	, , , , , , , , , , , , , , , , , , ,	02			00			0/		Boof	10	Fram	nin	12	Verified
Na	ame	Zone	Type	Orientatio n	Area (ft ²)	Skyligh Area (ft2	t Roof Rise (x in 12)	Roof Pitch	Roof Tilt(dea)	Reflectan ce	Roof Emittance	g Fact	or S	tatus	Existing Condifior
New	Roof	(E) 1st Floor	R-38 Roof Attic1	Front	9.1	9	6	0.5	26.57	0.1	0.85	0.0	7 1	New	N/A
	ATTIC			1	<u> </u>		05							r	10
ТТІС	01	01 02		1 03		()4	115		06	1 11/		к '	nu		10
	01 Name		02	03		U4	U5 Boof Beflector		Ub	07 Radian		Boof	Statu	Verifie	ed Existing
TTIC Δ##	01 Name	Cor	02 struction	03 Type	d	04 Roof Rise	05 Roof Reflectar	nce Roo	f Emittance	07 Radian Barrier	t Cool	B Roof	09 Statu s	Verific Co	ed Existing

02	03	04	05	06	07	08	09	10	11
Surface (Orientation-Azimuth)	Width(ft)	Height (ft)	Multiplie r	Area (ft ²)	U-factor	SHGC	Exterior Shading	Status	Verified Existing Condition
Front: To Remain (Front-0)			1	84.0	0.58	0.65	Insect Screen (default)	Existing	No
Front: To Remain (Front-0)			1	20.0	0.53	0.65	Insect Screen (default)	Existing	No
Left: To Remain (Left-90)			1	10.0	0.58	0.65	Insect Screen (default)	Existing	No
Rear: To Remain (Back-180)			1	66.0	0.58	0.65	Insect Screen (default)	Existing	No
Rear: To Remain (Back-180)			1	40.0	0.53	0.65	Insect Screen (default)	Existing	No
New Roof (Front-0)			1	9.0	0.39	0.29	None	New	N/A
Front: New (Front-0)			1	16.0	0.32	0.30	Insect Screen (default)	New	N/A
Front: New 2 (Front-0)			1	19.0	0.32	0.30	Insect Screen (default)	New	N/A
Rear: New (Front-0)			1	19.0	0.32	0.30	Insect Screen (default)	New	N/A
Right: New (Right-270)			1	48.0	0.32	0.30	Insect Screen (default)	New	N/A

02	03	04	05
IAQ CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
0	Default	0	Not Required

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CA Building Energy Efficiency Standards - 2013 Residential Compliance Report Version - CF1R-04072016-744

Registration Date/Time:

HERS Provider: Report Generated at: 2016-08-10 14:07:55

GENERAL STRUCTURAL NOTES

TYPICAL DETAILS: AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.

DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING, DURING THE BIDDING PERIOD, OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY. OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER. DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS

AND ELEVATIONS AT THE JOB SITE AND BRING TO THE ENGINEER'S ATTENTION ANY DISCREPANCIES NOTED.

SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING AND FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.

EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.

OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.

BACKFILL: BACKFILL AROUND THE EXTERIOR PERIMETER OF WALLS SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL (7) DAYS AS A MINIMUM AFTER THE COMPLETION OF INTERIOR FLOOR SYSTEMS UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCURS.

BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED. MATERIAL AND WORKMANSHIP: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIAL SHALL BE NEW AND MATERIALS AND WORKMANSHIP SHALL BE IN GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.

SAFETY: THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS / HER ACT OR NEGLECT.

INSPECTIONS: ANY SPECIAL INSPECTIONS THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION, UNLESS SPECIFICALLY CONTRACTED FOR.

SPECIAL INSPECTIONS: THE FOLLOWING COMPONENTS SHALL REQUIRE SPECIAL INSPECTION PERIODIC SPECIAL INSPECTION OF NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM. INCLUDING WOOD SHEARWALLS. WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS AND HOLD-DOWNS.

CONTINUOUS SPECIAL INSPECTION OF RETROFIT EPOXY SHEARWALL ANCHORAGE TO EXISTING FOUNDATION (MAY BE PERFORMED BY ENGINEER OF RECORD).

STRUCTURAL OBSERVATION: THE FOLLOWING COMPONENTS SHALL REQUIRE STRUCTURAL OBSERVATION: (NOTIFY REDWOOD ENGINEERING 48 HOURS IN ADVANCE. OBSERVATION OF COMPLETED FRAMING PRIOR TO INSPECTION BY BUILDING OFFICIAL

** UPON COMPLETION OF THE WORK INCLUDED IN THE PERMIT, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFY ANY REPORTED DEFICIENCIES WHICH HAVE NOT BEEN CORRECTED.

SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.

SHOP DRAWING CHECK: THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH ONE RECORD COPY OF SHOP DRAWINGS A MINIMUM OF ONE WEEK PRIOR TO PLACEMENT. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT NOR DOES IT INFER THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS.

PRE-MANUFACTURED TRUSSES :

PRE-MANUFACTURED ROOF TRUSSES SHALL BE DESIGNED FOR SUPERIMPOSED DEAD AND LIVE LOADS AS LISTED BELOW, CONCURRENT WITH WIND LOADS AND ANY LATERAL DRAG LOADS LISTED ON PLANS. PRE-MANUFACTURED ROOF TRUSSES SHALL BE DESIGNED FOR I O PSF BOTTOM CHORD LIVE LOAD (NONCONCURRENT WITH OTHER LOADS).

DEFERRED SUBMITTALS: APPROVAL FOR THE FOLLOWING ITEMS SHALL BE PROVIDED IN WRITING BY REDWOOD ENGINEERING PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL: PRE-MANUFACTURED ROOF TRUSSES

FOOTINGS: ALL NEW PERIMETER FOOTINGS SHALL EXTEND A MINIMUM OF 18 INCHES BELOW LOWEST ADJACENT EXTERIOR GRADE. MINIMUM FOOTING WIDTH SHALL BE IG INCHES, UNLESS NOTED OTHERWISE.

ALLOWABLE BEARING PRESSURES FOR CONTINUOUS SPREAD FOOTINGS:

DESCRIPTION / CONDITION	CONTINUOUS FOOTINGS	ISOLATED FOOTINGS
VERTICAL LOAD, NO SEISMIC OR WIND	1500 PSF	1500 PSF
VERTICAL LOAD PLUS SEISMIC OR WIND	2000 PSF	2000 PSF

VERTICAL LOADS - PSF: DESCRIPTION

DESCRIPTION:	DEAD	LIVE (UNREDUCED)	TOTAL
FLOOR	15	40	= 55
ROOF	16	20	= 36

BUILDING DESIGN:

PER 2013 CBC, ASCE 7-10 SIMPLIFIED ALTERNATIVE STRUCTUAL DESIGN PROCEDURE.

SEISMIC DESIGN CRITERIA: I = I.O, OCCUPANCY II $S_5 = 1.549g$ $S_1 = 0.570g$ SITE CLASS: D $SD_{s} = 1.033$ $SD_{1} = 0.570$ SEISMIC CATEGORY: D PLYWOOD SHEAR PANEL WOOD FRAMING

 $C_{S} = 0.175$ R = 6.5

BASIC WIND SPEED = 110 MILES PER HOUR EXPOSURE B, I = 1.0, OCCUPANCY II λ = 1.0 FOR STRUCTURES 30' OR LESS

CONCRETE NOTES

CONCRETE PLACEMENT AND QUALITY: SHALL BE PER RECOMMENDATIONS IN ACI 3 | 8-1 | AND SUPPLEMENT SI. A COPY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE DURING CONSTRUCTION.

CURING: PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. START CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. KEEP CONTINUOUSLY MOIST FOR AT LEAST 14 DAYS ACCORDING TO ACI 301 PROCEDURES. CURING MAY BE BY MOIST CURING, MOISTURE RETAINING COVER, CURING COMPOUND OR COMBINATIONS

COLD WEATHER CONCRETING: PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES IN COMPLIANCE WITH ACI 306. WHEN TEMPERATURES FALL BELOW 40 DEGREES FAHRENHEIT, UNIFORMLY HEAT WATER AND AGGREGATES BEFORE MIXING TO OBTAIN A CONCRETE MIXTURE TEMPERATURE OF NOT LESS THAN 50 DEGREES FAHRENHEIT AND NOT MORE THAN 80 DEGREES FAHRENHEIT AT POINT OF PLACEMENT.

HOT WEATHER CONCRETING: PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH CAUSED BY HIGH TEMPERATURES IN COMPLIANCE WITH ACI 305. UNIFORMLY COOL WATER AND AGGREGATES BEFORE MIXING TO OBTAIN A CONCRETE MIXTURE TEMPERATURE OF NOT GREATER THAN 90 DEGREES FAHRENHEIT AT POINT OF PLACEMENT. DEBRIS: REMOVE ALL DEBRIS FROM FORMS BEFORE POURING.

SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES OR TRUNKS OF VARYING LENGTHS SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FEET.

INSERTS: ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, BOLTS, ANCHORS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING THE CONCRETE.

DOWELING: ALL WALLS AND COLUMNS SHALL BE DOWELED INTO FOOTINGS, WALLS. BEAMS, OR SLABS WITH BARS OF THE SAME SIZE AND SPACING AS THE BARS ABOVE. USE A (30) BAR DIAMETER LAP EXCEPT WHERE SPECIFICALLY INDICATED. SPLICES: VERTICAL WALL BARS SHALL BE SPLICED AT OR NEAR FLOOR LINES. SPLICE BARS IN SPANDRELS, WALLS, BEAMS, GRADE BEAMS, ETC., AS FOLLOWS; TOP BARS AT CENTER LINE OF SPAN, BOTTOM BARS AT THE SUPPORT. ALL REINFORCING STEEL SHALL BE SECURELY WIRED AND PROPERLY SUPPORTED ABOVE THE GROUND AND AWAY FROM FORMS.

BAR SIZE	LAP SPLICE LENGTH
#4	24"
#5	30"
#6	36"

PIPES: PIPES OTHER THAN ELECTRICAL CONDUITS SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY THE ENGINEER. MAXIMUM PIPE SIZE SHALL BE 1/3 OF THE SLAB THICKNESS AND LOCATED AT THE MID DEPTH. MINIMUM SPACING SHALL BE 3 TIMES THE PIPE DIAMETER. PIPES SHALL NOT IMPAIR THE STRENGTH OF THE MEMBER.

REBAR GRADES: ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM AG 15 AS FOLLOWS: #4 \$ SMALLER BARS GRADE 40 #5 \$ LARGER BARS GRADE 60

REBAR COVER: ALL DIMENSIONS SHOWING THE LOCATION OF REINFORCING STEEL NOT NOTED AS "CLEAR" ARE TO CENTER OF STEEL. MINIMUM REBAR COVER FOR NON-PRESTRESSED CONCRETE SHALL BE AS FOLLOWS:

> DESCRIPTION / CONDITION CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:

EXPOSED TO EARTH OR WEATHER NO. 5 AND SMALLER BARS NO. 6 AND LARGER BARS SLABS ON GRADE

TOLERANCES FOR REBAR PLACEMENT: TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS 2 INCHES EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE PLUS OR MINUS 1/2"

CONCRETE QUALITY:

CONCRETE USE:	STRENGTH	SLUMP	AGGREGATE	AGGREGATE
	@ 28 DAYS		SIZE	TYPE
EXTERIOR WALKS AND CURBS	2500	4"	1/2"	HARDROCK
SLAB ON GRADE	2500	4"	1/2"	HARDROCK
SPREAD FOOTINGS	2500	4"	1/2"	HARDROCK
CONTINUOUS FOOTINGS	2500	4"	1/2"	HARDROCK

CONCRETE: HARDROCK CONCRETE SHALL BE OF 150 POUNDS PER CUBIC FOOT MAX. LIGHT WEIGHT CONCRETE SHALL BE OF I I O POUNDS PER CUBIC FOOT MAX.

AGGREGATE: AGGREGATE SHALL BE AS FOLLOWS:

CEMENT: SHALL BE TYPE II. CONCRETE IN CONTACT WITH ON SITE SOILS SHALL CONTAIN TYPE V OR EQUIVALENT SULFATE RESISTANT CEMENT WHEN REQUIRED BY GEOTECHNICAL INVESTIGATION. CONCRETE MIXES: SHALL BE DESIGNED BY A CERTIFIED INDEPENDENT LABORATORY.

ADD MIXTURES: CONCRETE MAY CONTAIN MAXIMUM 25% FLY ASH. OTHER ADDITIVES SHALL BE USED AT THE DISCRETION OF THE SUPPLIER, AND SHALL NOT NEGATIVELY AFFECT CONCRETE STRENGTH OR PERFORMANCE.

AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY. CONCRETE SHALL BE PLACED WITHIN 15 MINUTES AFTER DISCHARGE.

FIELD FOREMAN: THE FIELD FOREMAN RESPONSIBLE FOR THE PLACEMENT OF ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM OF (3) YEARS EXPERIENCE IN THIS CAPACITY FOR THIS TYPE OF CONSTRUCTION.

CONTRACTOR RESPONSIBILITY NOTE:

THE CONTRACTOR RESPONSIBLE FOR THE MAIN LATERAL FORCE-RESISTING SYSTEM OR IT'S COMPONENTS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO THE COMMENCEMENT OF WORK CONTAINING THE FOLLOWING INFORMATION: I. ACKNOWLEDGMENT OF THE AWARENESS OF THE SPECIAL REQUIREMENTS CONTAINED 2. ACKNOWLEDGMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE

IN THE STATEMENT OF SPECIAL INSPECTIONS (AS LISTED ON SHEET SN I). WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL. 3. PROCEDURES FOR EXERCISING CONTROL WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF REPORTS. 4. IDENTIFICATION AND QUALIFICATIONS OF THE PERSONS EXERCISING SUCH CONTROL AND THEIR POSITION WITHIN THE ORGANIZATION.

MINIMUM COVER	TOLERANCES + OR -
3"	3/8"
- /2"	3/8"
2"	3/8"
- /2"	/4"

HARDROCK ASTM 33
LT. WT. ASTM 330

CONCRETE AGE: NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING

TIMBER NOTES

WORKMANSHIP: ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE AND TIGHT AND WELL NAILED WITH MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT BUILDING CODES. THE SHIMMING OF SILLS, JOISTS, SHORT STUDS, TRIMMERS, HEADERS, OR OTHER FRAMING MEMBERS SHALL NOT BE PERMITTED. ALL WALLS AND PARTITIONS SHALL BE STRAIGHT, PLUMB, AND ACCURATELY LOCATED. CAREFULLY SELECT ALL STRUCTURAL MEMBERS. INDIVIDUAL PIECES SHALL BE SELECTED SO THAT KNOTS AND OBVIOUS MINOR DEFECTS WILL NOT INTERFERE WITH THE PLACING OF BOLTS, OR PROPER NAILING, OR THE MAKING OF SOUND CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER FOR EXCESSIVE WARP. TWIST. BOW OR CROOK, MILDEW, FUNGUS, OR MOLD AS WELL AS FOR IMPROPER GRADE MARKING. DEFECTS WHICH RENDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION SHALL BE DISCARDED.

GRADE MARKINGS: EACH PIECE OF STRUCTURAL LUMBER, PLYWOOD, AND TIMBER SHALL BE MARKED WITH THE GRADE ASSIGNED BY THE APPROPRIATE TESTING AND CERTIFICATION AGENCY.

SIZING AND SURFACING: ALL LUMBER, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, SHALL BE MILL SIZED AND SURFACED ON (4) SIDES. ALL PIECES SHALL BE STRAIGHT STOCK, FREE FROM WARP OR CUP, AND SINGLE LENGTHS. SPLICING WILL NOT BE PERMITTED EXCEPT WHERE SPECIFICALLY SO DETAILED OR AS DIRECTED BY THE ENGINEER.

FIELD FOREMAN: THE FIELD FOREMAN RESPONSIBLE FOR ALL TIMBER CONSTRUCTION SHALL HAVE A MINIMUM OF (3) YEARS EXPERIENCE IN THIS CAPACITY FOR THIS TYPE OF CONSTRUCTION.

FRAMING HARDWARE: JOIST HANGERS, STRAPS, HOLDOWNS, ETC., SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR APPROVED EQUAL. BLOCKING AND FIRESTOPPING: INSTALL ALL BLOCKING AS REQUIRED TO

SUPPORT ALL ITEMS OF FINISH SUCH AS BULKHEADS AND DOOR BUCKS. PROVIDE FIREBLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS. DOUBLE FLOOR JOISTS: PROVIDE UNDER ALL WALLS PARALLEL TO DIRECTION OF FRAMING, NOT SUPPORTED BY WALL TO FOUNDATION BELOW. HDQ / PHD HOLDOWNS: WHERE HDQ OR PHD HOLDOWNS ARE SPECIFIED,

2-2x4 POSTS MINIMUM MUST BE USED. (TYPICAL UNLESS NOTED OTHERWISE). STUD SIZE: USE 2 x 4 STUDS AT 1 6 INCHES ON CENTER AT ALL EXTERIOR WALLS UP TO 10'-0" TALL. USE 2 X 6 STUDS AT 16" O.C. AT ALL EXTERIOR WALLS UP TO I G'-O" TALL. SEE ARCHITECTURAL DRAWINGS FOR WALL THICKNESS. USE 3X4 OR 2X6 STUDS AT 16" O.C. AT FIRST FLOOR OF 3 STORY BUILDING. MOISTURE CONTENT: ALL NEW FRAMING SHALL HAVE NO GREATER THAN

19% MOISTURE AT TIME OF INSTALLATION. BOLTING: BOLTS SHALL BE INSTALLED IN HOLES BORED WITH A BIT 1/16

INCH LARGER THAN THE DIAMETER OF THE BOLT. BOLTS AND NUTS SEATING ON WOOD SHALL HAVE CUT STEEL WASHERS UNDER HEADS AND NUTS. NUTS SHALL BE PULLED TIGHT AND AGAIN CHECKED AND TIGHTENED JUST PRIOR TO ENCLOSING BOLTED MEMBERS. COUNTER BORE FOR BOLTED HEADS OR NUTS ONLY WHERE SO INDICATED ON THE DRAWINGS, AND THEN ONLY TO SUFFICIENT DEPTH TO HOUSE THE BOLT HEAD OR NUT AND WASHER. CUT OFF EXCESSIVE BOLT PROJECTION WHERE NECESSARY. NICK THREADS TO PREVENT LOOSENING.

SPIKING: WHERE SPIKING IS CALLED FOR ON THE DRAWINGS, SUCH AS IN MULTIPLE JOISTS OR STUDS, SPIKE EACH PIECE WITH (2) ROWS OF I GA NAILS AT 12 INCHES ON CENTER, STAGGERED 6 INCHES. THE (2) ROWS SHALL BE SPACED AT 3 INCHES MINIMUM.

NAILING: COMMON NAILS SHALL BE USED WHEN NAILING IS SPECIFIED ON THESE PLANS, SUCH AS AT SHEAR WALLS AND DIAPHRAGMS. ALL OTHER NAILING MAY BE OF THE "SINKER" TYPE.

PLYWOOD GRADE: ALL PLYWOOD STRUCTURAL PANELS SHALL BE EXTERIOR GRADE 'CD-X' UNLESS NOTED OTHERWISE ON PLANS.

PLYWOOD DIRECTION: LAY FLOOR AND ROOF PLYWOOD PERPENDICULAR TO FRAMING, SEE DETAIL 4/SD2. PROVIDE MIN. 1/8" GAP ALONG ALL PANEL EDGES AND ENDS. WALL BLOCKING: PROVIDE BLOCKING FOR ALL SHEAR WALL PANELS. ALL SHEATHING PANELS SHALL HAVE A MINIMUM OF TWO-INCH NOMINAL BACKING AT EDGES, EXCEPT WHERE 3X BLOCKING IS REQUIRED PER SHEARWALL SCHEDULE.

SILLS: MUDSILL SHALL BE OF PRESERVATIVE TREATED DOUGLAS FIR. SHEAR WALLS AND EXTERIOR WALL SILLS AT CONCRETE SLAB SHALL HAVE 5/8 INCH DIAMETER ANCHOR BOLTS SPACED AT 48 INCHES ON CENTER UNLESS NOTED OTHERWISE IN SHEARWALL SCHEDULE. SEE DETAIL 4/SD I FOR TYPICAL MUDSILL ATTACHMENT. ALL NONSTRUCTURAL WALLS MAY BE ATTACHED WITH CONCRETE NAILS SPACED AT 32 INCHES ON CENTER MAXIMUM WITH A ONE INCH PENETRATION INTO SLAB. CONCRETE NAILS SHALL NOT BE INSTALLED UNTIL THE CONCRETE HAS REACHED THE STRENGTH OF 2500 PSI.

EXPOSED FRAMING: FRAMING EXPOSED TO MOISTURE SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH NDS SPECIFICATIONS. CONNECTORS: CONNECTION HARDWARE USED WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIP GALVANIZED.

WOOD FRAMING REVIEW: STRUCTURAL WOOD FRAMING SHALL BE REVIEWED BY THE ENGINEER OR HIS REPRESENTATIVE PRIOR TO PLACING COVERINGS. THE ENGINEER SHALL BE NOTIFIED AT LEAST (48) HOURS IN ADVANCE.

WOOD FRAMING: SHALL COMPLY WITH SECTION 2304 OF THE 2013 CBC . MANUFACTURED WOOD PRODUCTS: ON PLANS ARE PER SPECIFICATIONS BY: "TRUS-JOIST CORPORATION." A PRODUCT OF EQUAL OR

GREATER SPECIFICATION MAY BE USED SUBJECT TO THE ENGINEER'S APPROVAL. THE DESIGN, DETAILING, ERECTION, BRACING, AND

BLOCKING OF THESE PRODUCTS SHALL BE PER THE RECOMMENDATIONS OF THE MANUFACTURER.

LUMBER QUALITY: UNLESS NOTED OTHERWISE ON THE DRAWINGS, LUMBER SHALL BE AT LEAST OF THE GRADES SHOWN IN THE TABLE BELOW. ALL LUMBER SHALL BE SURFACED AND FREE OF HEART CENTER.

MINIMUM LUMBER GRADES:

DESIGN VALUES IN POUNDS PER SQUARE INCH (PSI)

SPECIES: DOUGLAS FIR LARCH				BENDING	SHEAR PARALLEL TO GRAIN	COMPRESSION PARALLEL TO GRAIN	MODULUS OF ELASTICITY *
PRIMARY USAGE	RIMARY SIZE SAGE		GRADE	Fb	Fv	Fc	E
STUDS, JOISTS	2X4		STUD	700	95	850	1.4
AND RAFIERS	2X6	¢ UP	DF#2	900	95	1350	1.6
SAWN BEAMS	SAWN BEAMS 4X		DF#1	1000	85	1350	1.6
SAWN BEAMS	6X ŧ	UP	DF#1	1350	85	925	1.6
SAWN POSTS	4X4	¢ UP	DF#1	1200	95	1000	1.6
MANUFACTURED	LUMBE	ER PR	ODUCTS				
BEAMS	ALL	PARALLAM PSL 2.0E		2900	290	2900	2.0
BEAMS/JOISTS ALL		MICROLAM LVL 1.9E		2600	285	2510	1.9
BEAMS/JOISTS ALL		TIME	BERSTRAND LSL 1.5E	2250	400	1950	1.5

* MULTIPLY ALL "E" VALUES BY 1,000,000 TO OBTAIN UNITS OF PSI.





SHEATHING	NAILING	SILL PLATE	TOP CONNECTION	BOTTOM CONNECTION (SPN)
I/2" CD-X ONE SIDE	0d COMMON @ 6" 0.C. EDGES @ 2" 0.C. FIELD	2x	L70 @ 16" O.C.	I GA COMMON NAILS @ 5" O.C. AT SECOND FLOOR 5/8" X I 0" A.B. @ 32" O.C. AT FOUNDATION
1/2" CD-X ONE SIDE	Od COMMON @ 4" O.C. EDGES @ 2" O.C. FIELD	Зx	L70 @ 10" O.C.	I GA COMMON NAILS @ 3" O.C. AT SECOND FLOOR 5/8" X I 2" A.B. @ 24" O.C. AT FOUNDATION
I/2" CD-X ONE SIDE	I Od COMMON @ 3" O.C. EDGES @ I 2" O.C. FIELD	Зx	L70 @ 8" O.C.	I GA COMMON NAILS @ 2" O.C. AT SECOND FLOOR 5/8" X I 2" A.B. @ 24" O.C. AT FOUNDATION

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BUILDING DEPARTMENT SUBMITTAL SET

006-633-016

AUGUST 11, 2016

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I. PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES WHEN NAIL SPACING IS 4" O.C. OR CLOSER.

2. USE 10d COMMON WIRE NAILS.

3. BLOCK ALL PANEL EDGES. 4. SEE DETAIL 2/SD2 FOR SHEARWALL FRAMING INFORMATION.

5. SEE DETAIL 4/SD1 FOR TYPICAL MUDSILL ATTACHMENT TO FOUNDATION.



FOUNDATION PLAN

|/4" = |'-0"

NOTE: ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC COATED STEEL. ALTERNATE METHODS AND MATERIALS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE.

NOTE: ALL EMBEDDED INSERTS IN FOUNDATION SHALL BE SECURELY ATTACHED TO FORMWORK PRIOR TO CONTRACTOR REQUESTING FOUNDATION INSPECTION FROM THE BUILDING OFFICIAL.









