



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Architectural Review Board

**FROM:** Laurel O'Halloran, Associate Planner

**MEETING DATE:** November 8, 2016

**SUBJECT:** Architectural Permit Application No. AP 16-767

**ADDRESS:** 879 Marino Pines (APN 006-633-016)

**ZONING/  
LAND USE:** R-1/Medium Density to 17.4 DU/ac

**APPLICANT:** Peter Davis on behalf of Gordon & Gayla Armstrong, Owner

**CEQA:** Categorical Exemption, Section 15301(e)(1)

**RECOMMENDATION**

Receive report, hold public hearing, and approve AP 16-767 based on the findings and subject to the staff-recommended conditions.

**BACKGROUND**

On August 30, 2016, Darrin Gambello, applied for an architectural permit for additions to a single-story 1,733 square foot residence. The proposed residence will consist of a 44 square foot first floor, a 347 square foot second floor addition for a total residence of 2,230 square feet.

**DISCUSSION**

The residence was constructed circa 1955 according to information on file.

Zoning Code

The proposed project is in conformance with all requirements of the R-1 zone, including but not limited to setbacks, height limits, and site coverage.

The proposed project will have a building coverage of 27%, which is within the allowable maximum building coverage of 40%, pursuant to P.G.M.C. 23.16.040. The proposed project will have a site coverage of 27%, which is within the allowable maximum building coverage of 60%. The proposed project will have a gross floor area 2,230 square feet, which is within the allowable maximum gross floor area of 3,201 square feet.

The side yard abutting the street has a setback requirement of 10' and the proposed addition has a setback of 25'6"

The proposed addition meets the City's requirement of one (1) covered and one (1) uncovered parking space for properties larger than 2,700 square foot in the R-1 zoning district.

The property owner seeks to maintain all existing trees

Architectural Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

*Guideline #9: Attempt to preserve some portion of neighbors' views by carefully positioning or limiting the width, depth, or height of proposed building elements.*

The second story addition of 347 square feet will have minimal impact to neighbors' views, as the addition faces the street being on a corner lot.

*Guideline #21: The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.*

The proposed addition maintains all the existing trees.

*Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.*

The proposed addition is minimal and located above the garage to the west side of the property, and appears to complement the form, mass, and composition of the existing property.

Historic Review:

The subject site went through the Initial Historic Screening process in July of 2016 and was determined to be ineligible for the Historic Resources Inventory.

Environmental Determination:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS**

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Initial Historic Screening
- E. CEQA Documentation
- F. Project Plans

RESPECTFULLY SUBMITTED:

*Laurel O'Halloran*

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Laurel O'Halloran, Associate Planner



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # Item 7a AP 16-767  
 Date: 8-30-16  
 Total Fees: \$3,209.30  
 Received by: LOH

**APPLICANT/OWNER:**

Project Address: 879 Marino Pines APN: 006-633-016  
 Project Description: RESIDENCE ADDITION - 1st FLOOR ADDITION OF 44 SQ.FT. 2nd STORY ADDITION OF 347 SQ.FT. ETC. RECONSTRUCT COVERED PORCH

<b>Applicant</b>	<b>Owner</b>
Name: <u>DARRIN GAMBELLO</u>	Name: <u>(- SAME -) Darrin G.</u>
Phone: <u>831-333-1471 or 831-915-5736(c)</u>	Phone: <u>831-333-1471 / 831-915-5736(c)</u>
Email: <u>DGAMBELLO@GMAIL.COM</u>	Email: <u>DGAMBELLO@GMAIL.COM</u>
Mailing Address: <u>879 MARINO PINES PG., CA 93950</u>	Mailing Address: <u>879 MARINO PINES PG., CA 93950</u>

**PLANNING STAFF USE ONLY:**

**Permit Request:**

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: Admin Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:

<b>CEQA Determination:</b>	<b>Review Authority:</b>	<b>Active Permits:</b>	<b>Overlay Zones:</b>
<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Butterfly Zone
<input checked="" type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> Coastal Zone
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> Area of Special Biological Significance (ASBS)
	<input checked="" type="checkbox"/> ARB	Permit #: _____	<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)

**Property Information**

Lot: 14 Block: 2 Tract: MAP OF MARINO PINES  
 ZC: R-1 GP: MOD, 17.4 P/AC Lot Size: 6974.79  
 Historic Resources Inventory  Archaeologically Sensitive Area

**Staff Use Only:**

AUG 30 2016  
 CITY OF PACIFIC GROVE COMMUNITY DEV DEPT  
**PAID** \$3,209.30  
8-30-16

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

**Applicant Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Owner Signature (Required):** [Signature]

**Date:** 8/30/16

PROJECT DATA SHEET

Project Address: 879 Marino Pines Submittal Date: \_\_\_\_\_  
 Applicant(s): Darrin Gambello Permit Type(s) & No(s): \_\_\_\_\_

	Required/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		R-1	R-1	
Building Site Area		6974	6974	
Density (multi-family projects only)		N/A	N/A	
Building Coverage	3,487	1733 <del>ft</del>	1883 <del>ft</del>	+150 sq. ft.
Site Coverage	50%	25%	27%	-
Gross Floor Area	3,200 <del>ft</del>	1326	2,230	+ 497 <del>ft</del>
Square Footage not counted towards Gross Floor Area	-	-	-	-
Exterior Lateral Wall Length to be demolished*/Total Existing Wall Length	n/a	n/a	22-191 lf	
Exterior Lateral Wall Length to be built	n/a	n/a	27	
Building Height	25'	12'	23'-1/2"	
Number of stories	-	single	2	
Front Setback	15'	27'4"	27'4"	
<u>West</u> Side Setback (specify side)	10'	25'-6"	25'-6"	
<u>East</u> Side Setback (specify side)	10'	11'-7"	11'-7"	
Rear Setback	10'	10'	10'	
Garage Door Setback/Back-up Distance	20'	34'-8"	27'-4"	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	2	2	2	
Parking Space Size	9' x 20'	9'x20'	9'x20'	
Number of Driveways	1	1	1	
Driveway Width(s)	18'	18'	18'	
Eave Projection(s) (Into Setback)	3' maximum	1'-5"	1'-5"	@RYSB
Distances Between Eaves & Property Lines	3' minimum	8'-7"	8'-7"	REAR
Open Porch/Deck Projections		8'	8'	no change
Architectural Feature Projection(s) (Into Setback)		none	none	
Number & Category of Accessory Buildings		none	none	
Accessory Building Heights		N/A	N/A	
Accessory Building Setbacks		N/A	N/A	
Distance between Buildings		N/A	N/A	
Fence Heights		6' MAX	6' MAX	NO CHANGE

\*If project proposes demolition to an HRI structure, also provide % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



## CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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### ARCHITECTURAL PERMIT (AP) 16-767

**FOR A PROPERTY LOCATED AT 879 MARINO PINES TO ALLOW A FIRST FLOOR ADDITION OF 44 SF AND A SECOND STORY ADDITION OF 347 SF TO AN EXISTING ONE STORY 1,326 SF RESIDENCE FOR A TOTAL OF A 2,230 SF TWO STORY RESIDENCE.**

#### FACTS

1. The subject site is located at 102 2<sup>nd</sup> Street, Pacific Grove, 93950 APN 006-633-016
2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is 6,975 square feet.
5. The subject site is developed with a 1,326 sf single story single family dwelling.
6. The subject site went through the Initial Historic Screening process in July of 2016 and was determined to be ineligible for the Historic Resources Inventory.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines 28,31,34 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

#### PERMIT

Architectural Permit (AP) 16-767:

To allow a first floor addition of 44 sf and a second story addition of 347 sf to an existing one story 1,326 sf residence for a total of a 2,230 sf two story residence.

#### CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees
8. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
9. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12.
10. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.
11. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.

- 2. The Board authorizes Approval of Architectural Permit (AP) 16-767 To allow a first floor addition of 44 sf and a second story addition of 347 sf to an existing one story 1,326 sf residence for a total of a 2,230 sf two story residence.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 8th day of November, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

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Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

---

Darrin Gambello, Owner

---

Date



## CITY OF PACIFIC GROVE

### Community Development Department – Planning Division

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### NOTICE OF EXEMPTION FROM CEQA

**Property Address/Location: 879 Marino Pines, Pacific Grove, CA 93950**

**Project Description: AP 160767**

Description: To allow a 1st floor addition of 44 sf and a 2nd story addition of 347 sf . To also reconstruct a covered porch

APN: 006633016000

ZC: R-1

Lot Size: 6,975 sf

Applicant Name:	Darrin Gambello	Phone #:	915.5736
Mailing Address:	879 Marino Pines Pacific Grove, Ca 93950		
Email Address:	dgambello@gmail.com		

**Public Agency Approving Project:** City of Pacific Grove, Monterey County, California

**Exempt Status (Check One):**

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption  
Type and Section Number: Class 1. Section 15301(e)(1)
- Statutory Exemption  
Type and Section Number:
- Other:

**Exemption Findings:**

The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact

**Contact: Laurel OHalloran, Planning Department, City of Pacific Grove**

**Contact Phone: (831) 648-3183**

Signature: Jaime O'Halloran

Date: October 28, 2016





# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950  
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### Initial Historic Screening Determination

Address: 879 Marino Pines APN: 006-633-016  
 Owner: Darrin Gambello Applicant: N/A

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the July 27, 2016 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_(description of known alteration)
    - \_\_\_\_\_(type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

Maureen Mason, HRC Chair

7/27/16  
Date

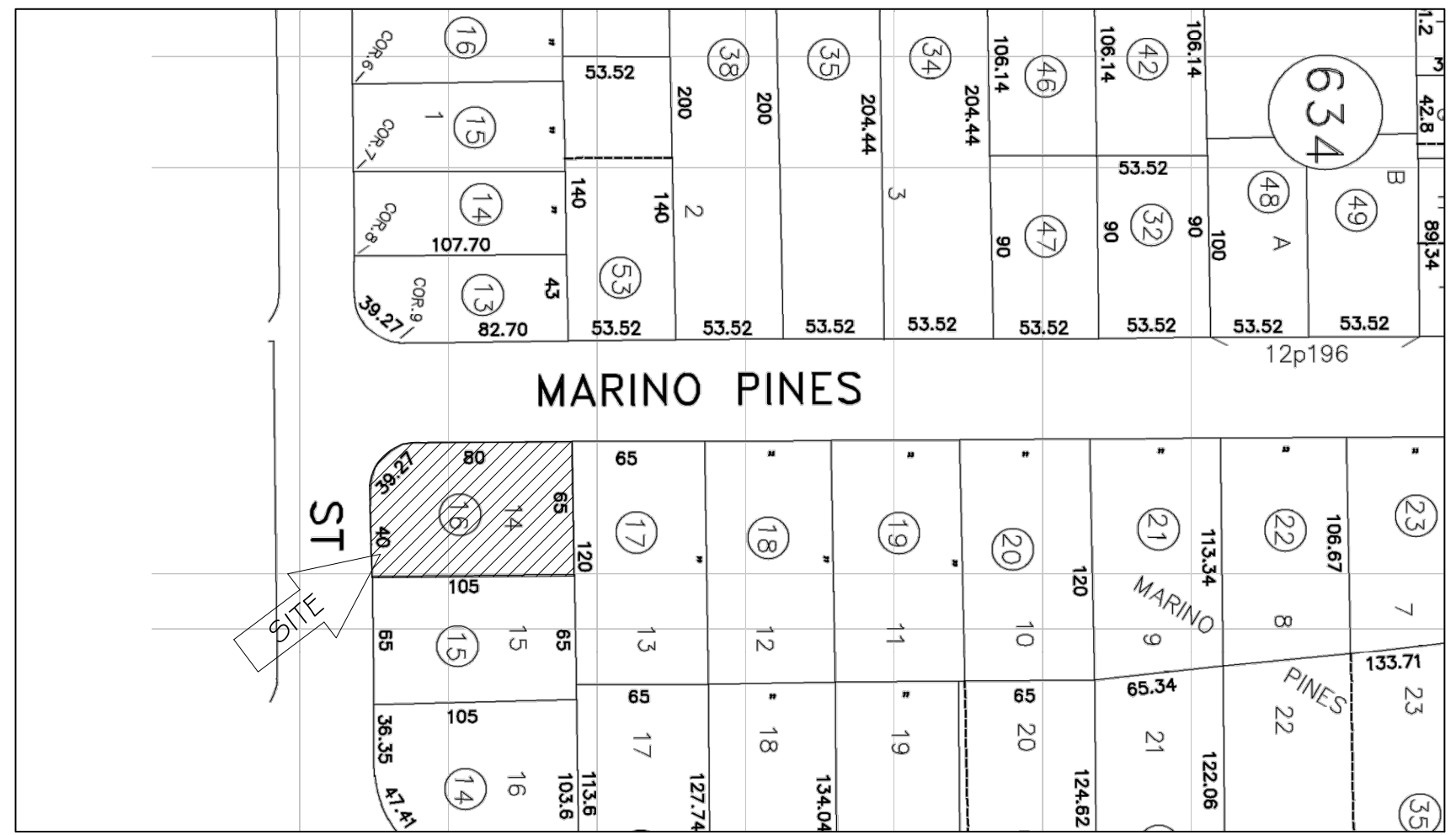
#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

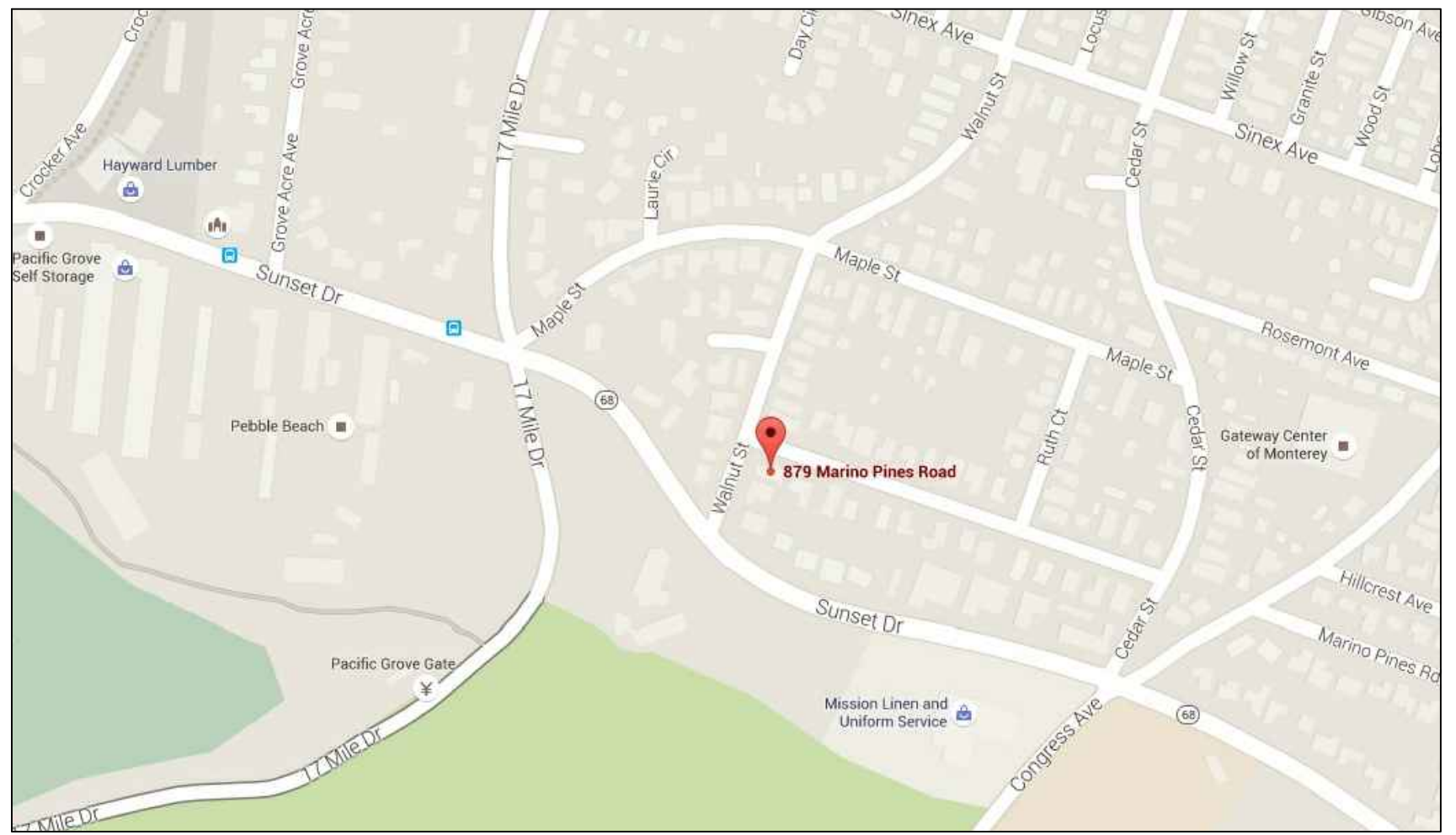
- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 Form) is required.

Mark Brodeur, CEDD Director

7/28/16  
Date



PARCEL MAP



VICINITY MAP

**PROJECT SUMMARY**

**PROJECT DESCRIPTION:** FIRST FLOOR ADDITION OF 44 SQ.FT., SECOND STORY ADDITION OF 347 SQ.FT., CONVERT 171 SQ.FT. OF EXISTING GARAGE TO HABITABLE SPACE, 106 SQ.FT. ADDITION TO GARAGE, RECONSTRUCT COVERED PORCH.

**PROJECT ADDRESS:** 879 MARINO PINES ROAD  
PACIFIC GROVE, CA 93950

**A.P.N.:** 006-633-016

**ZONING:** R-1

**CONSTRUCTION TYPE:** V-B NON-SPRINKLERED

**OCCUPANCY GROUP:** R3U

**LOT AREA:** 6,974 SQ.FT.

	A	B	C (A+B)	D	(C+D)
	1st STORY HABITABLE	2nd STORY HABITABLE	HABITABLE TOTAL	GARAGE	TOTAL
EXISTING	1,326 sq.ft.	0 sq.ft.	1,326 sq.ft.	407 sq.ft.	(E) 1,733 sq.ft.
PROPOSED	1,541 sq.ft.	347 sq.ft.	1,888 sq.ft.	342 sq.ft.	(F) 2,230 sq.ft.
CHANGE	215 sq.ft.	347 sq.ft.	562 sq.ft.	<65 sq.ft.>	497 sq.ft.

**GROSS FLOOR AREA:**  
 ALLOWED: 3,201 SQ.FT.  
 PROPOSED: 2,278 SQ.FT.

**BUILDING FOOTPRINT:**  
 EXISTING: 1,733 SQ.FT.  
 PROPOSED FOOTPRINT: 1,883 SQ.FT.

**PROPOSED BUILDING COVERAGE:** 27% (MAXIMUM ALLOWABLE LOT COVERAGE = 40%)

**CODE REFERENCE:** ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES: 2013 CBC, CRC, CMC, CPC, CA ELECT CODE, CAL GREEN, CA ENERGY CODE AND SCMC TITLE 18.

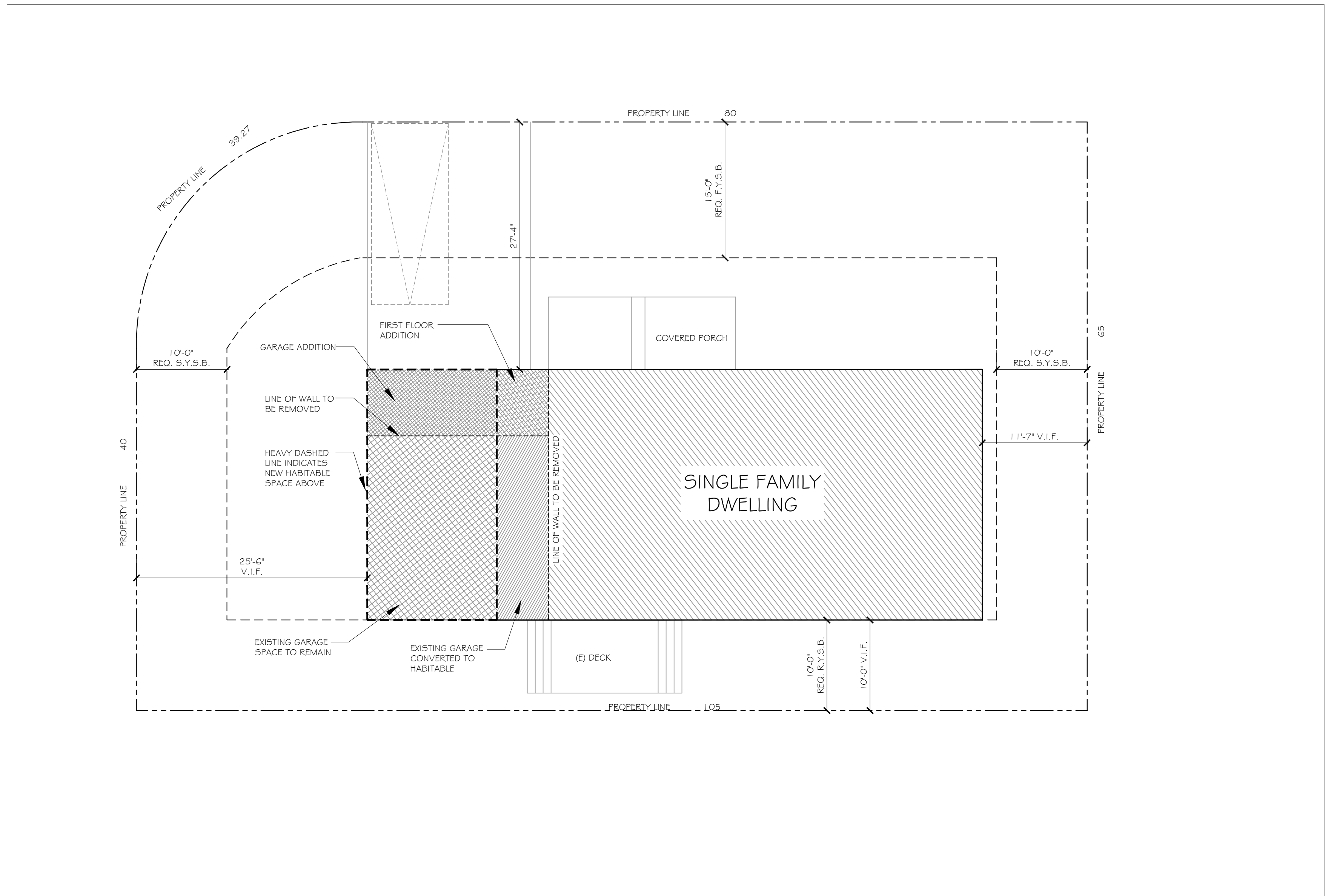
**PROJECT OWNERS:** DARRIN AND FATIMA GAMBELLO  
879 MARINO PINES ROAD  
PACIFIC GROVE, CA 93950  
(831) 333-1471

**STRUCTURAL ENGINEER:** REDWOOD ENGINEERING  
LEONARD WILLIS P.E.  
1535 SEABRIGHT AVE., SUITE 200  
SANTA CRUZ, CA 95062  
(831) 426-8444  
CA P.E. #62076

**ENERGY COMPLIANCE:** LINDA BUTLER, CEPE  
124 OTIS STREET  
SANTA CRUZ, CA 95060  
(831) 345-1028

**SHEET INDEX**

- T1 TITLE SHEET
- T2 CALGREEN MANDATORY MEASURES
- A1 EXISTING FLOOR PLAN
- A2 EXISTING ELEVATIONS
- A3 PROPOSED LOWER AND UPPER FLOOR PLAN
- A4 PROPOSED ROOF PLAN AND SECTION
- A5 PROPOSED ELEVATIONS
- A6 ELECTRICAL PLAN
- EN1 ENERGY COMPLIANCE
- SN1 STRUCTURAL NOTES
- S1 FOUNDATION PLAN
- S2 UPPER FLOOR AND ROOF FRAMING PLANS
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

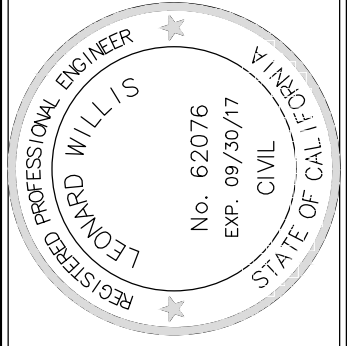
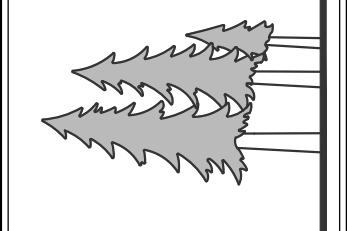


SITE PLAN

1/8" = 1'-0"

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 1535 SEABRIGHT AVE., SUITE 200, SANTA CRUZ, CA 95062 (831) 426-8444  
 leonard@redwoodengineering.net



**GAMBELLO RESIDENCE ADDITION**  
 879 MARINO PINES ROAD  
 PACIFIC GROVE, CA 93950

JOB NUMBER: 1673  
 OFFICE NOTE:  
 BUILDING DEPARTMENT  
 SUBMITTAL SET  
 AUGUST 11, 2016  
 A.P.N.: 006-633-016  
 REVISIONS:

SHEET  
**T1**

Chapter 4 Mandatory Requirements For Residential Dwellings

Table 4.504.1 Adhesive VOC Limit (Less Water and Less Exempt Compounds in Grams per Liter)

If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.

For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

Guide to the 2013 California Green Building Standards Code (Residential)

Table 4.504.2 Sealant VOC Limit (Less Water and Less Exempt Compounds in Grams per Liter)

Table 4.504.3 VOC Content Limits For Architectural Coatings (Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)

1 Grams of VOC per liter of coating, including water and including exempt compounds. 2 The specified limits remain in effect unless revised limits are listed in subsequent columns in the table. 3 Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

The regulatory text for Table 4.504.5 has been amended for the 2013 code.

Table 4.504.5 Formaldehyde Limits! Maximum Formaldehyde Emissions in Parts per Million

1 Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12. 2 This medium density fiberboard has a maximum thickness of 5/16" (8 millimeters).

CALGreen 2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes Significant Changes from 2010 CALGREEN) 2013 CALGREEN CODE EFFECTIVE JANUARY 1, 2014

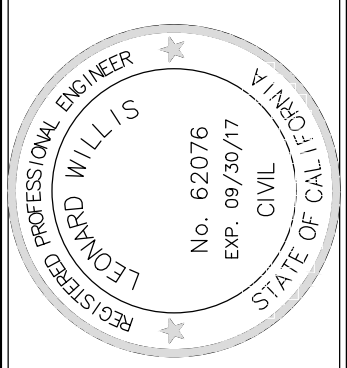
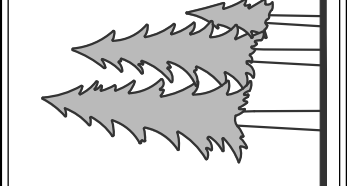
CALGreen 2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes Significant Changes from 2010 CALGREEN) 2013 CALGREEN CODE EFFECTIVE JANUARY 1, 2014

CALGreen 2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes Significant Changes from 2010 CALGREEN) 2013 CALGREEN CODE EFFECTIVE JANUARY 1, 2014

CALGreen 2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes Significant Changes from 2010 CALGREEN) 2013 CALGREEN CODE EFFECTIVE JANUARY 1, 2014

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GAMBELLO RESIDENCE ADDITION 879 MARINO PINES ROAD PACIFIC GROVE, CA 93950

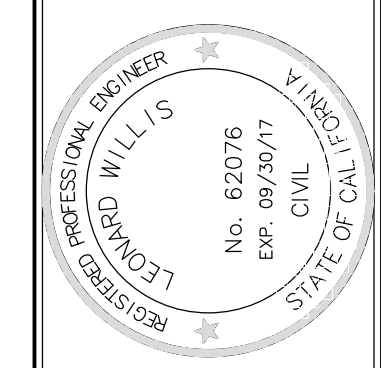
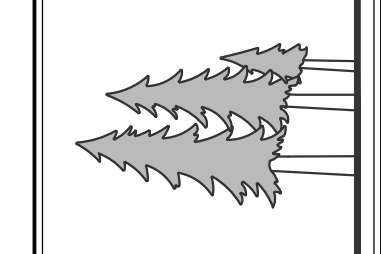
JOB NUMBER: 1673 OFFICE NOTE: BUILDING DEPARTMENT SUBMITTAL SET AUGUST 11, 2016 A.P.N.: 006-633-016 REVISIONS:

SHEET T2

2013 CALGREEN MANDATORY MEASURES

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**GAMBELLO RESIDENCE ADDITION**  
879 MARINO PINES ROAD  
PACIFIC GROVE, CA 93950

JOB NUMBER: 1673

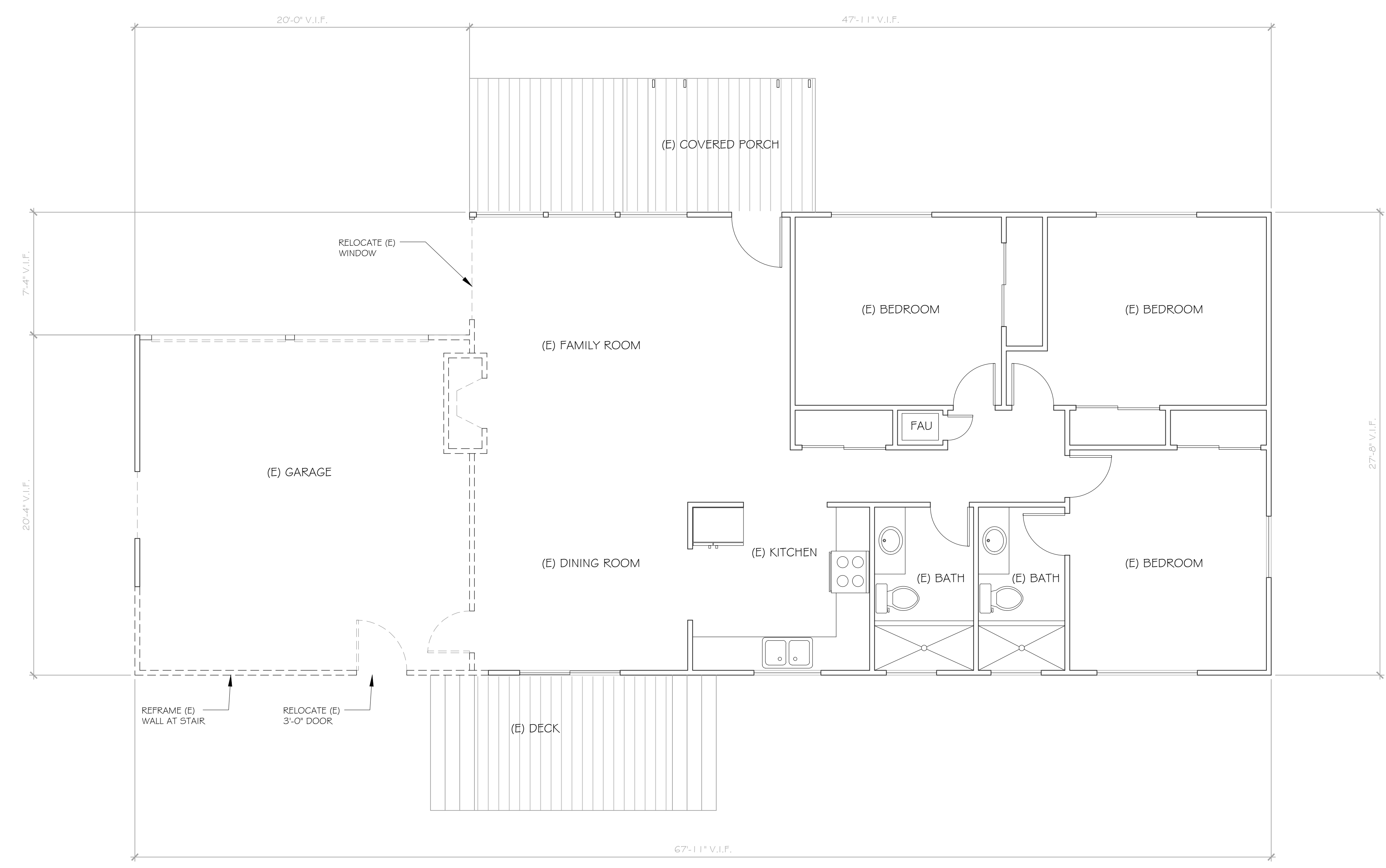
OFFICE NOTE:  
BUILDING DEPARTMENT  
SUBMITTAL SET  
AUGUST 11, 2016

A.P.N.: 006-633-016

REVISIONS:

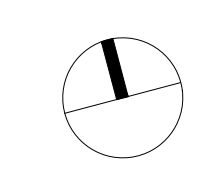
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**EXISTING FLOOR PLAN**

1/4" = 1'-0"

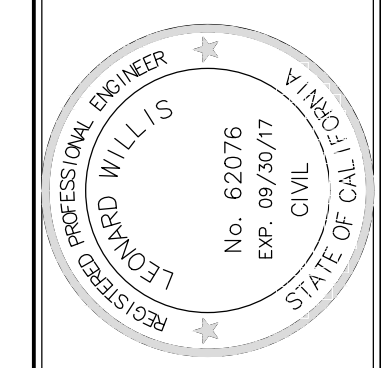
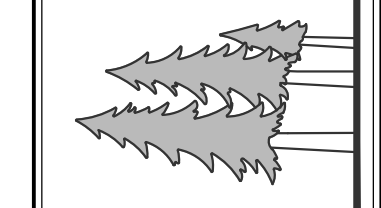


**WALL LEGEND**

	EXISTING 2X4 STUD WALLS
	DEMOLISH WALLS
	DEMOLISH OTHER

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leonard@redwoodengineering.net



GAMBELLO RESIDENCE ADDITION  
879 MARINO PINES ROAD  
PACIFIC GROVE, CA 93950

JOB NUMBER: 1673

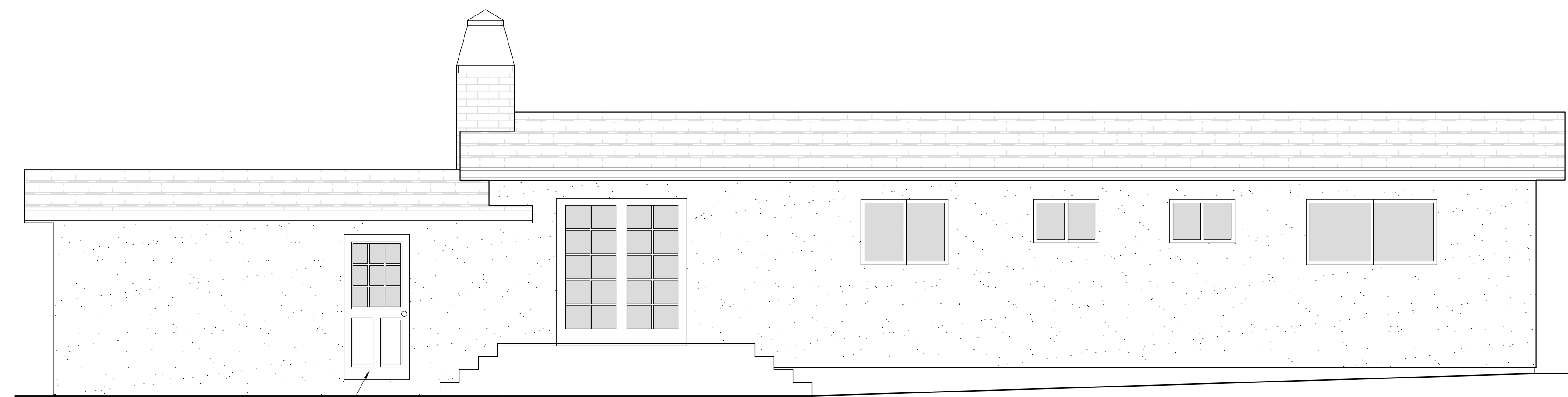
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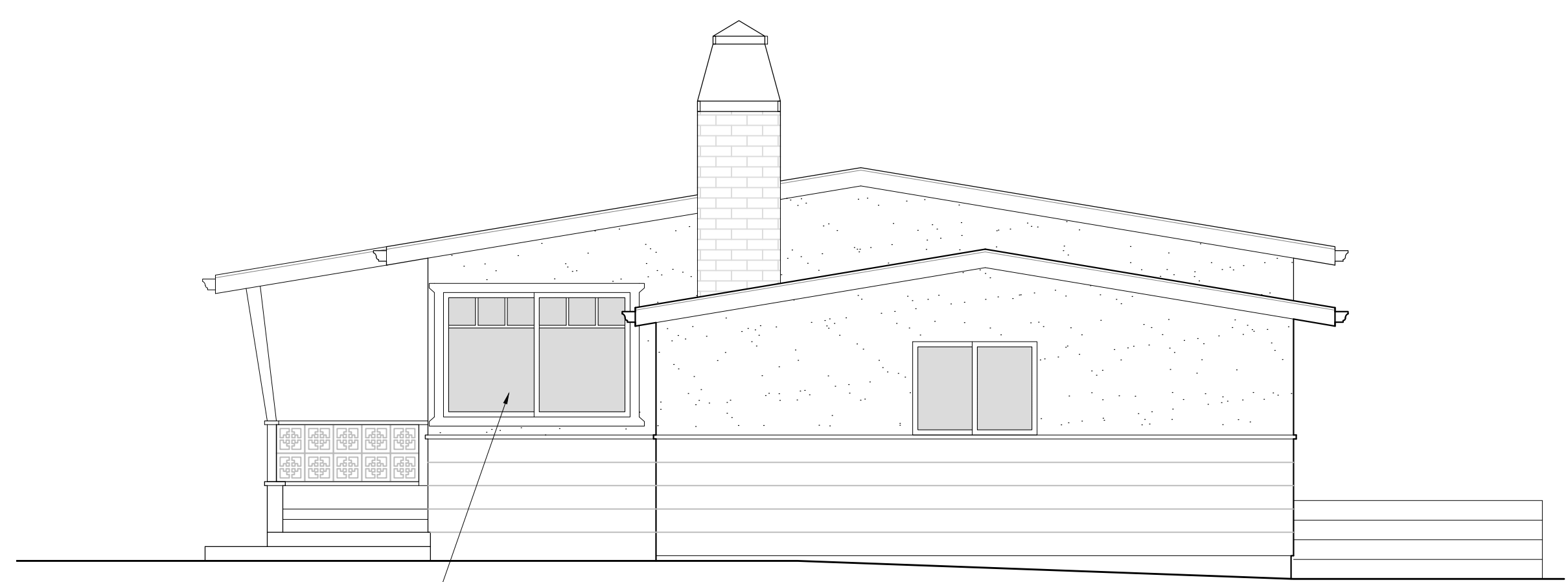
A2



RELOCATE 3'-0" DOOR

EXISTING SOUTH ELEVATION

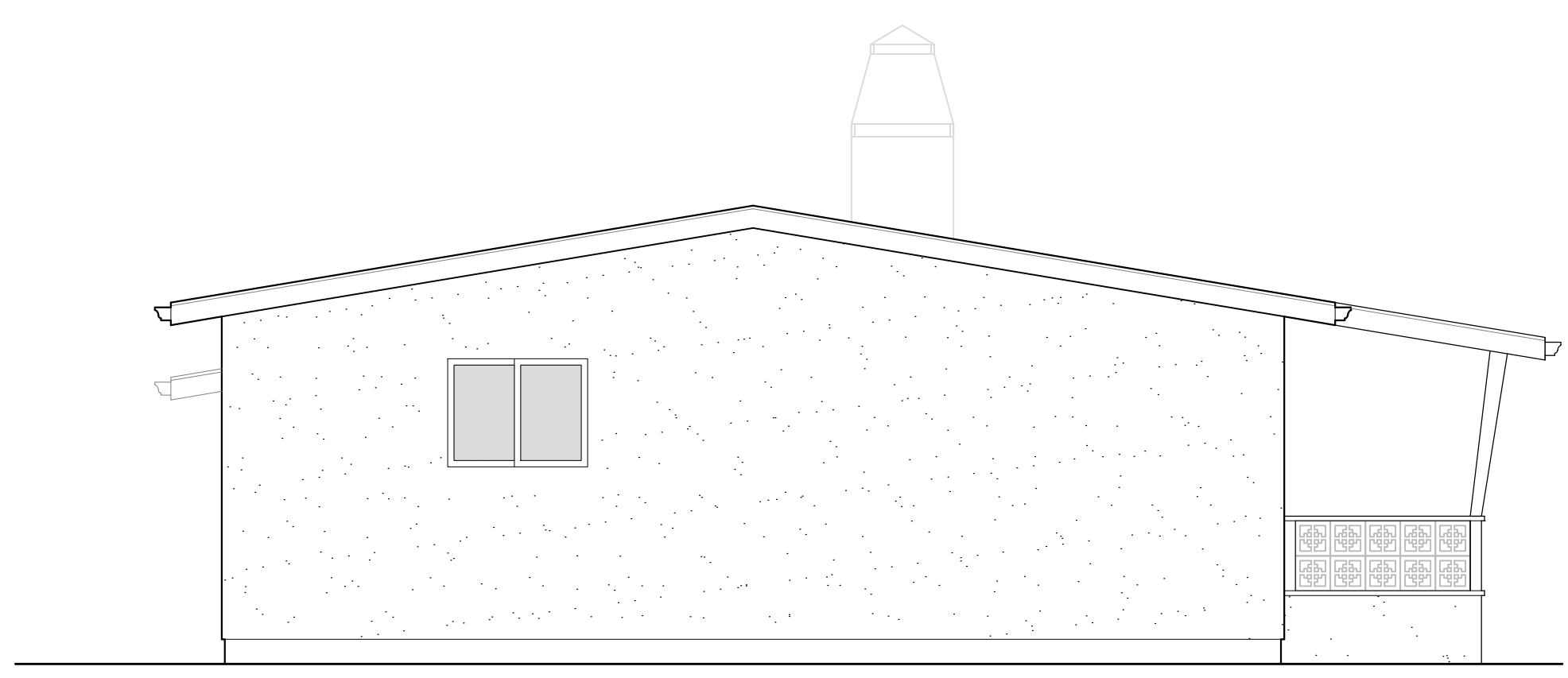
1/4" = 1'-0"



RELOCATE WINDOW

EXISTING WEST ELEVATION

1/4" = 1'-0"



EXISTING EAST ELEVATION

1/4" = 1'-0"

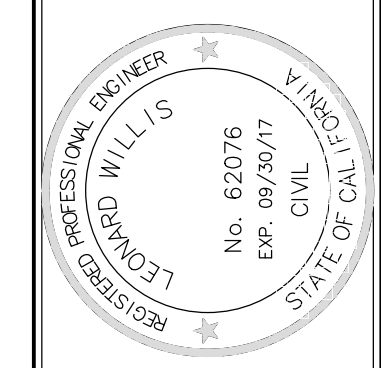
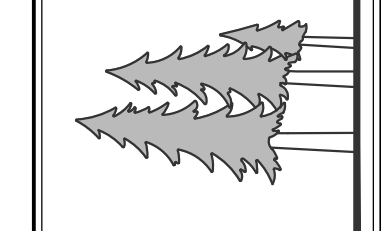


EXISTING NORTH ELEVATION

1/4" = 1'-0"

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**GAMBELLO RESIDENCE ADDITION**  
 879 MARINO PINES ROAD  
 PACIFIC GROVE, CA 93950

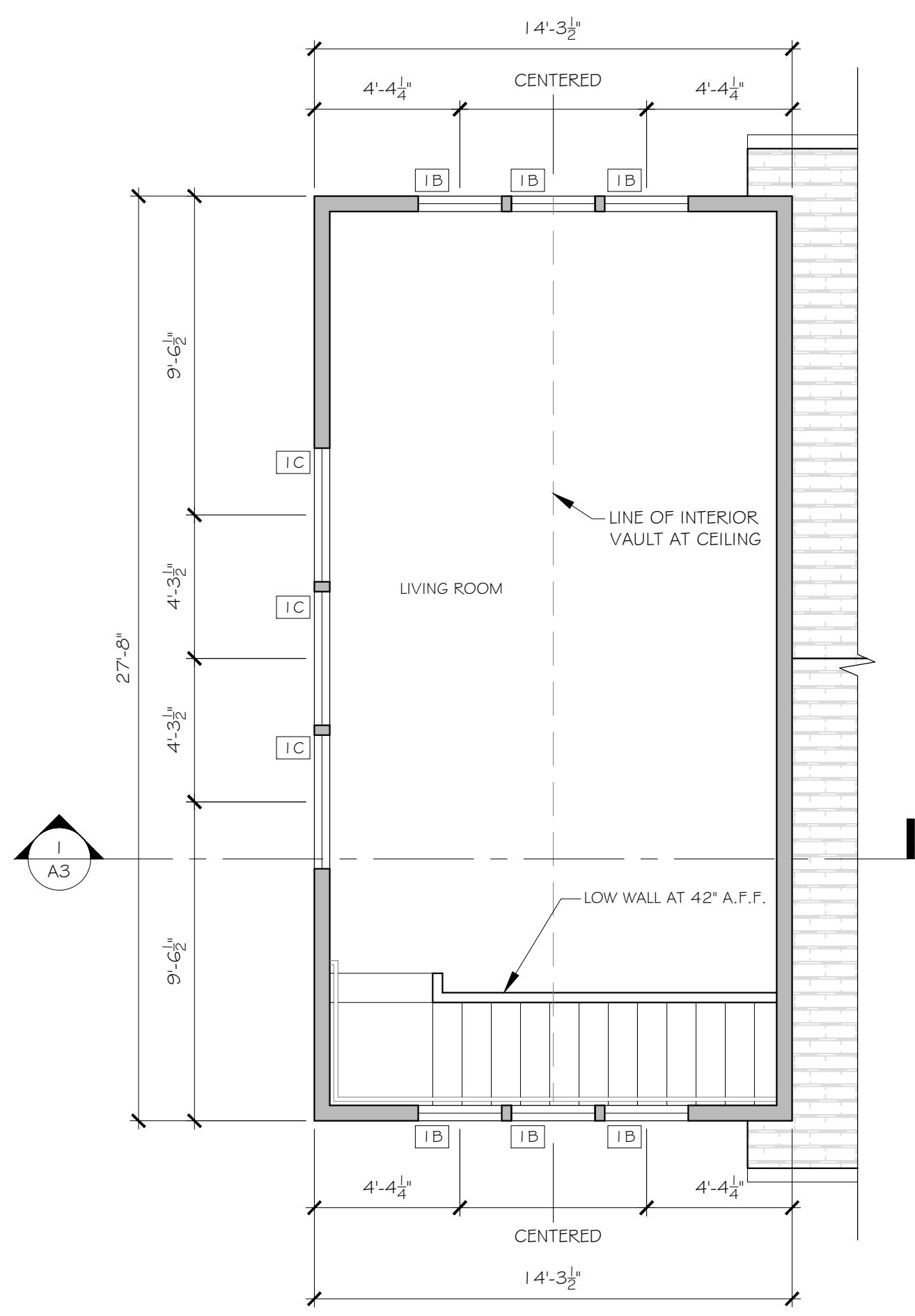
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**A3**

**WINDOW SCHEDULE**

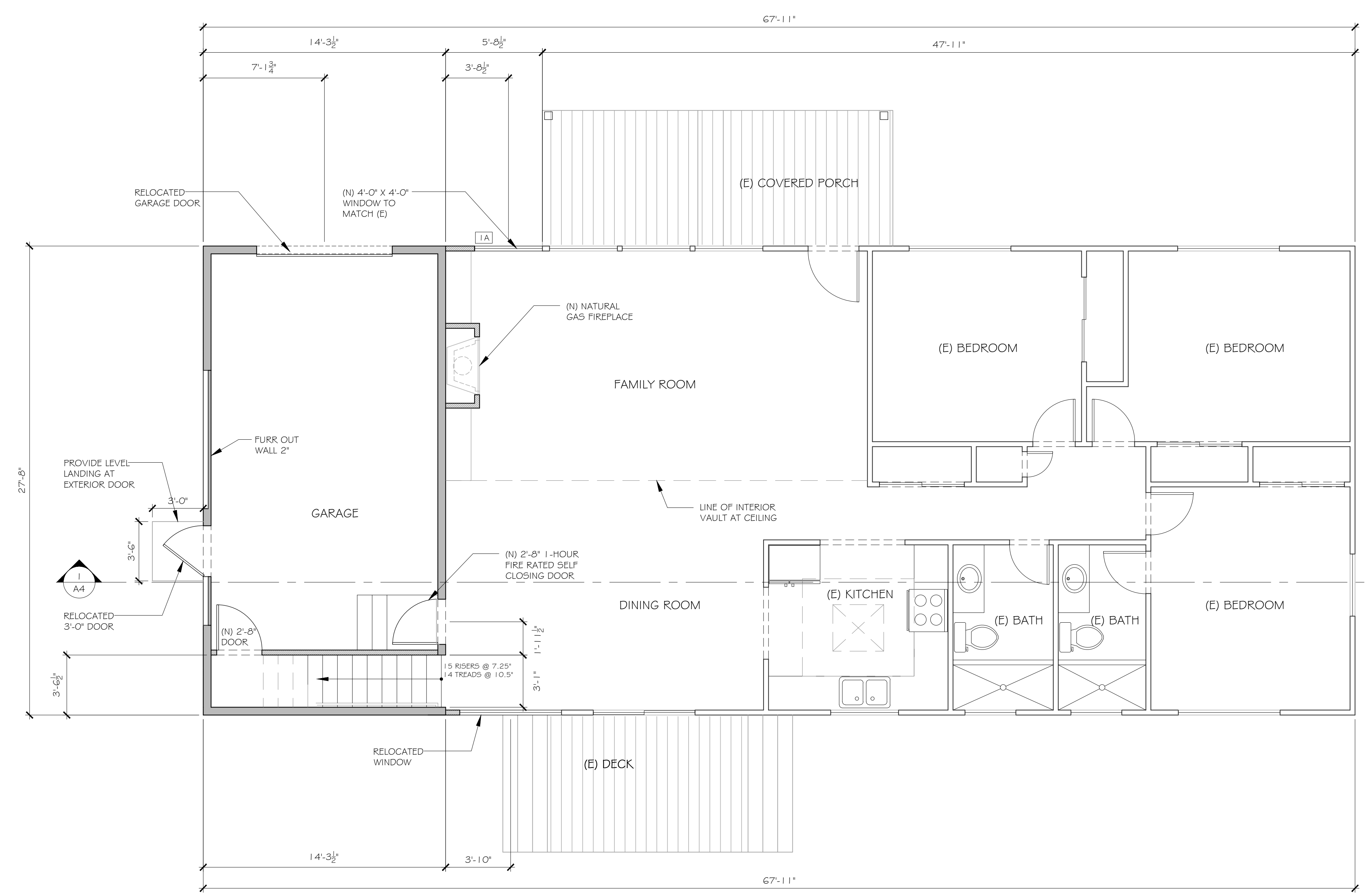
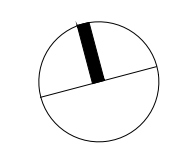
WINDOW TYPE	SIZE	WALL THICKNESS	OPERATION	HEADER HEIGHT	ADDITIONAL WINDOW NOTES	# OF UNITS
[A]	4'-0" X 4'-0"	3.5"	SLIDER	MATCH (E)	.32 U-FACTOR	1
[B]	2'-6" X 2'-6"	5.5"	FIXED	7'-0"	.32 U-FACTOR	6
[C]	4'-0" X 4'-0"	5.5"	SLIDER	7'-0"	.32 U-FACTOR	3
[D]	3'-0" X 3'-0"	-	FIXED	-	SKYLIGHT	1

- ADDITIONAL NOTES:  
 1. WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.  
 2. EGRESS MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES, MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES, AND HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR.  
 3. PROVIDE TEMPERED GLASS AT AREAS OF GLASS WITHIN 18" OF FINISH FLOOR AND ALL SKYLIGHTS.  
 4. PROVIDE TEMPERED GLAZING WITHIN A 24" ARC OF A DOOR.  
 5. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER INSULATION INSPECTION IS COMPLETED.  
 6. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER PRIOR TO PLACING ORDER.



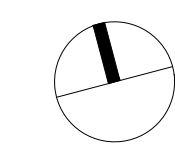
**PROPOSED UPPER FLOOR PLAN**

1/4" = 1'-0"



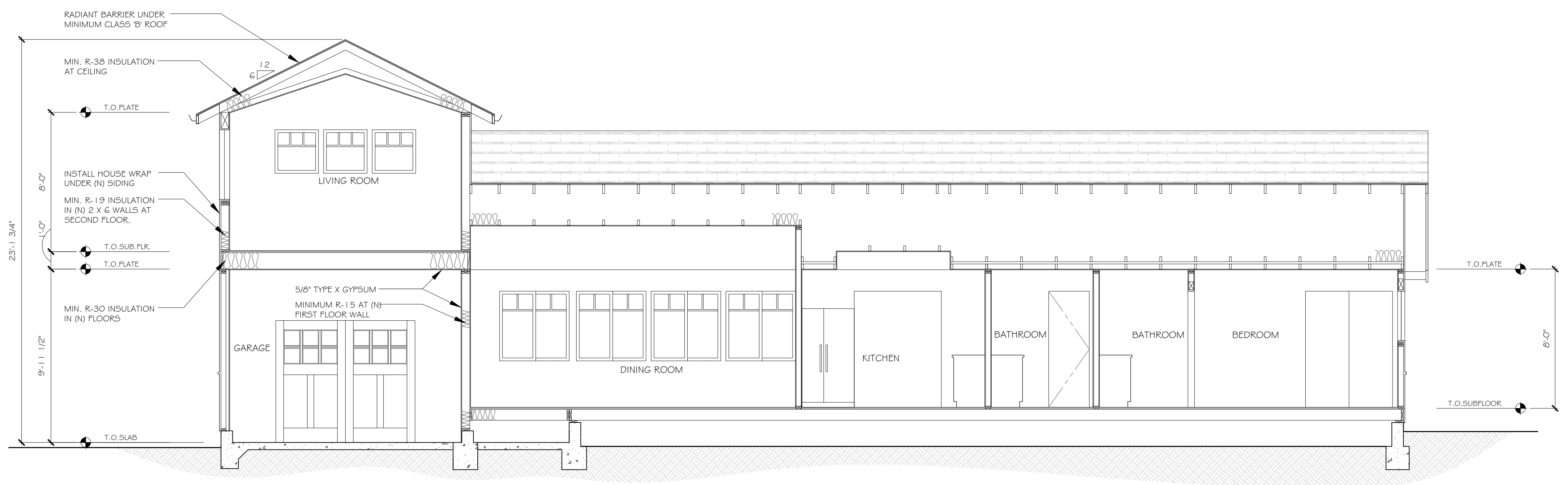
**PROPOSED LOWER FLOOR PLAN**

1/4" = 1'-0"



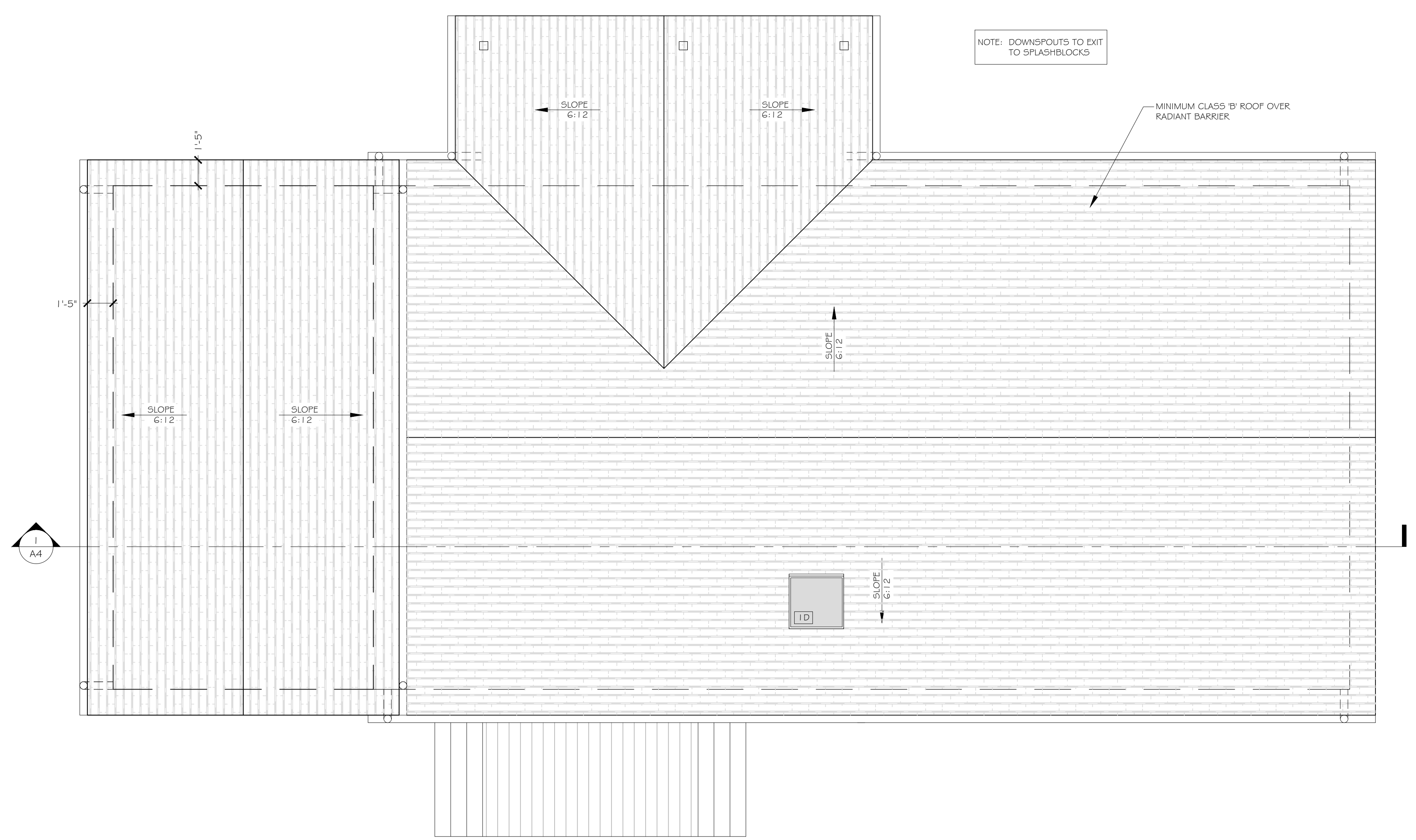
**WALL LEGEND**

	EXISTING 2X4 STUD WALLS
	2X4 STUD WALLS
	2X6 STUD WALLS



SECTION I

1/4" = 1'-0"

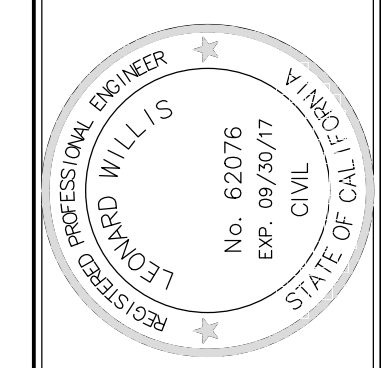
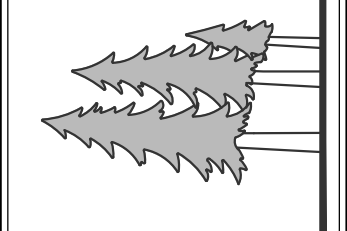


PROPOSED ROOF PLAN

1/4" = 1'-0"

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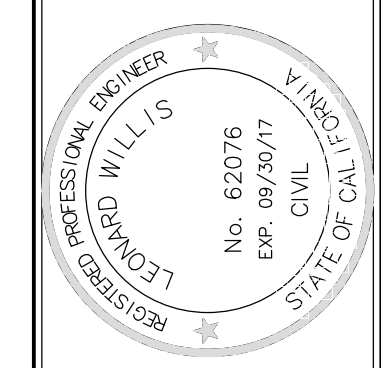
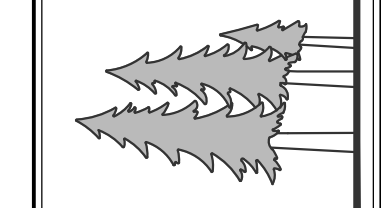
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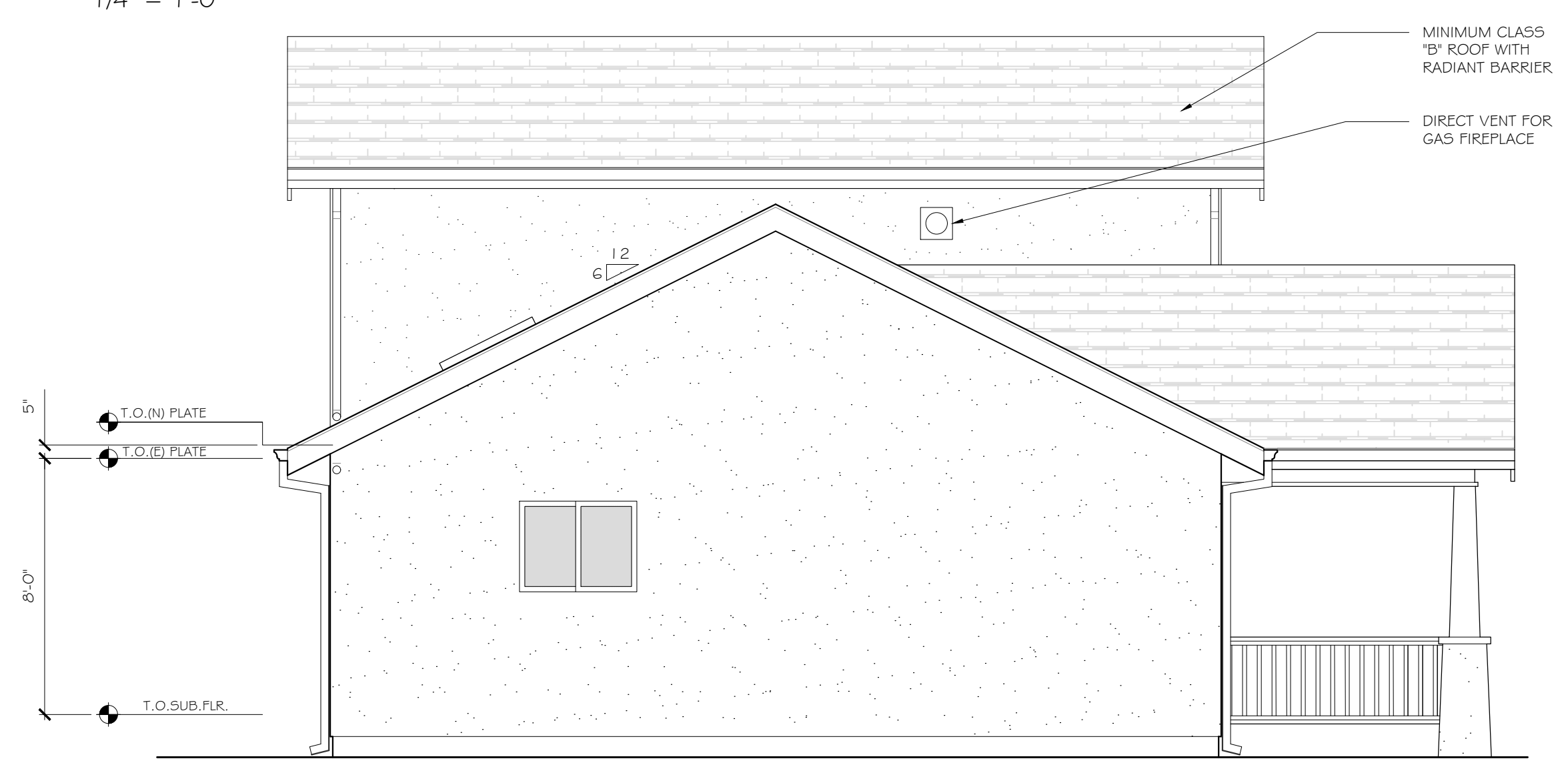
**PROPOSED SOUTH ELEVATION**

1/4" = 1'-0"



**PROPOSED WEST ELEVATION**

1/4" = 1'-0"



**PROPOSED EAST ELEVATION**

1/4" = 1'-0"

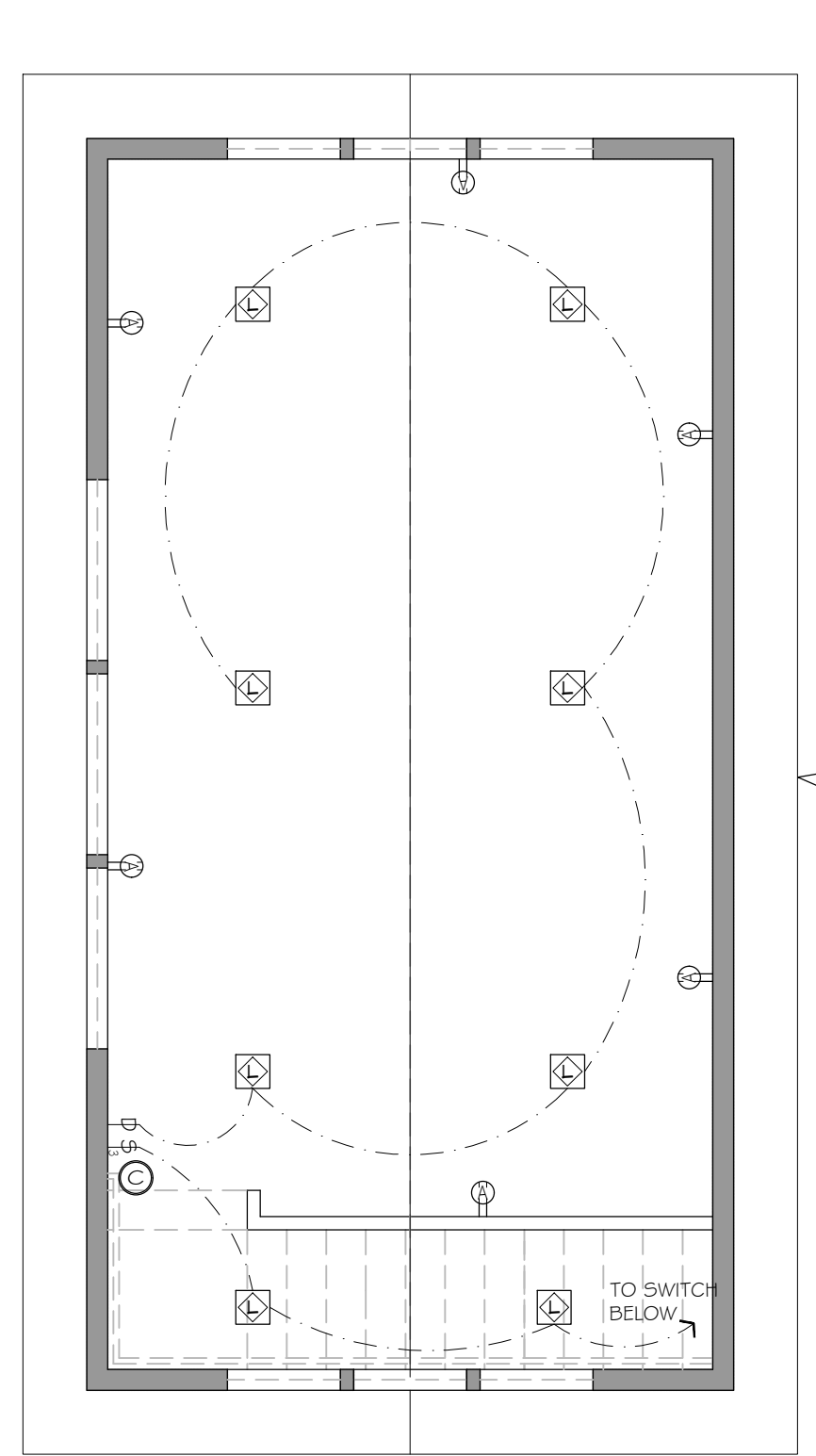


**PROPOSED NORTH ELEVATION**

1/4" = 1'-0"

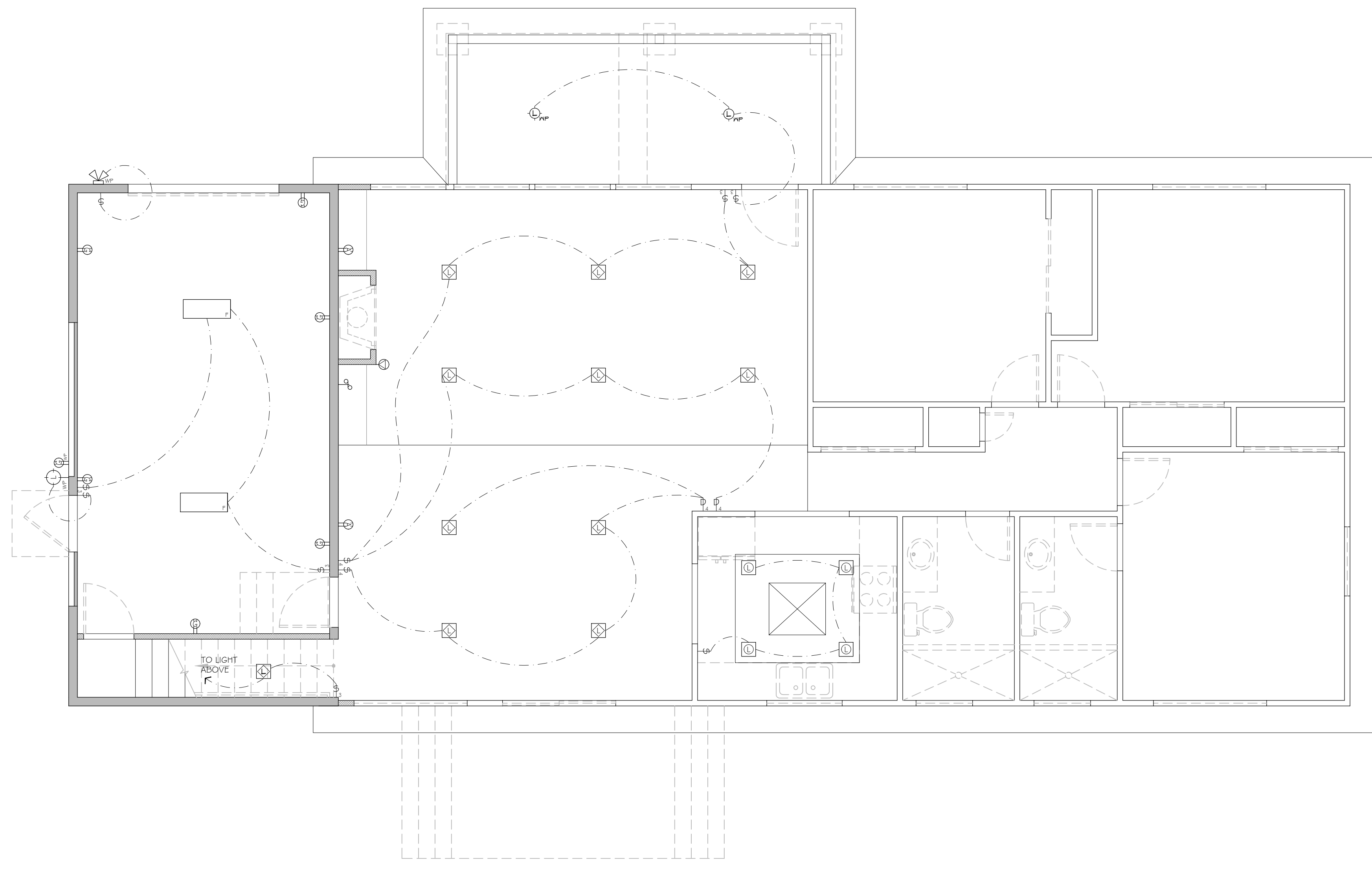
(N) GARAGE DOORS PER OWNER





LOWER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"



UPPER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- LIGHT FIXTURE TYPES:
- F = CFL HIGH EFFICACY LIGHT FIXTURE SHALL BE FOUR-PIN TYPE WITH ELECTRONIC BALLASTS
  - L = HIGH EFFICACY LIGHT FIXTURE
  - WP = WATERPROOF FIXTURE
- ⊙ HIGH EFFICACY CEILING FIXTURE
  - ⊙ RECESSED LIGHT WITH ADJUSTABLE LENS FOR SLOPED CEILINGS, IC 4 AT RATED IN INSULATED CEILINGS.
  - ⊙ WALL MOUNTED FIXTURE.
  - ⊙ SURFACE MOUNT FLUORESCENT LIGHT FIXTURE W/ELECTRONIC BALLAST.
  - ⊙ COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED, HARD WIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. \*\*NOTE\*\* CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2010 C.R.C. SECTION R315, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARMS.
  - ⊙ CEILING MOUNTED SMOKE DETECTOR, HARD WIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. \*\*NOTE\*\* ALL SMOKE DETECTORS SHALL BE 120 VOLT STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- OUTLET TYPES:
- G = GROUND FAULT CIRCUIT INTERRUPTOR
  - A = TAMPER PROOF ARC-FAULT CIRCUIT INTERRUPTOR
  - WP = EXTERIOR WATERPROOF OUTLET
  - 42" = SPECIFIES HEIGHT OF FINISH FLOOR
- ⊖ 220 VOLT RECEPTACLE OUTLET.
  - ⊖ SINGLE POLE SWITCH, 3-WAY LIGHT SWITCH
  - ⊖ DIMMER SWITCH
  - ⊖ GROUND FAULT CIRCUIT INTERRUPTOR FOR GARBAGE DISPOSAL
  - ⊖ GAS STUB WITH SHUTOFF VALVE LOCATED WITHIN 6 FEET OF THE APPLIANCE.

ELECTRICAL NOTES

1. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. C.E.C. REQUIREMENTS
2. RECEPTACLES TO BE PLACED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 6'-0" FROM A RECEPTACLE. ANY ISOLATED WALL SECTION 2'-0" OR MORE IN LENGTH REQUIRES A RECEPTACLE.
3. A DEDICATED 20-AMP GFCI PROTECTED CIRCUIT SHALL SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.)
4. ALL CARBON MONOXIDE DETECTORS/ SMOKE DETECTORS TO BE 110V, INTERCONNECTED, W/ BATTERY BACKUP.
5. ALL 120-volt, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
6. ALL 125-VOLT, 15- AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT.
7. EXISTING ELECTRICAL TO REMAIN. ALL NEW AND EXISTING RECEPTACLES TO BE GROUNDED WITH MAXIMUM DISTANCE OF 12'-0" BETWEEN RECEPTACLES.
8. PROVIDE FOUR CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-PRONG OUTLET FOR DRIVERS AND COOKING UNITS.
9. ALL NEW CIRCUITS SUPPLYING OUTLETS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALL TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. ADDITIONALLY, ALL NEW RECEPTACLES SHALL BE TAMPER PROOF TYPE.

MECHANICAL NOTES

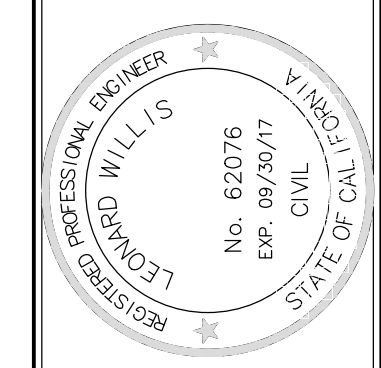
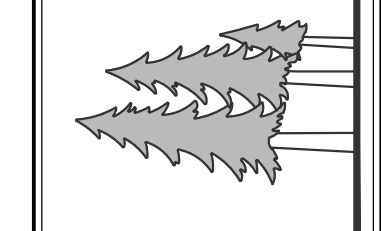
1. ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK-ACTING VALVES (WASHING MACHINES, DISHWASHERS, ECT.) ARE INSTALLED, SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF THESE VALVES.
2. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA MINIMUM.
3. PROVIDE MINIMUM 100 cfm LOCAL EXHAUST FOR KITCHEN, WHICH MAY BE ACHIEVED BY A RANGE HOOD

LIGHTING NOTES

1. ALL GENERAL LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY THE PRIMARY SWITCH AT THE KITCHEN ENTRANCE.
2. AT LEAST ONE BATHROOM FIXTURE SHALL BE HIGH EFFICACY. ALL OTHER BATHROOM LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY VACANCY SENSORS.
3. ALL OTHER INTERIOR ROOMS EXCEPT CLOSETS LESS THAN 70 sq.ft. TO BE HIGH EFFICACY OR EQUIPPED W/ OCCUPANCY SENSOR OR DIMMER SWITCH.
4. ALL RECESSED CEILING FIXTURES THAT WILL BE IN INSULATED SPACES SHALL BE IC (INSULATED COVER) LISTED & CERTIFIED ASTM E283 OR EQUAL INSTALLATION SHALL BE AIRTIGHT.
5. LIGHT FIXTURES IN CLOSETS TO BE MINIMUM 12" FROM FACE OF SHELF IF INCANDESCENT, OR 6" IF LED, FLUORESCENT OR RECESSED.
6. ALL GARAGE, LAUNDRY, AND UTILITY LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.

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### GENERAL STRUCTURAL NOTES

TYPICAL DETAILS: AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.

**DISCREPANCIES:** THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING, DURING THE BIDDING PERIOD, OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER.

**DISCREPANCIES:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS AT THE JOB SITE AND BRING TO THE ENGINEER'S ATTENTION ANY DISCREPANCIES NOTED.

**SHORING:** IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING AND FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.

**EXCAVATION:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.

**OTHER TRADES:** SEE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.

**BACKFILL:** BACKFILL AROUND THE EXTERIOR PERIMETER OF WALLS SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL (7) DAYS AS A MINIMUM AFTER THE COMPLETION OF INTERIOR FLOOR SYSTEMS UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCURS.

**BRACING:** TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.

**MATERIAL AND WORKMANSHIP:** THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIAL SHALL BE NEW AND MATERIALS AND WORKMANSHIP SHALL BE IN GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.

**SAFETY:** THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS / HER ACT OR NEGLIGENCE.

**INSPECTIONS:** ANY SPECIAL INSPECTIONS THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION, UNLESS SPECIFICALLY CONTRACTED FOR.

**SPECIAL INSPECTIONS:** THE FOLLOWING COMPONENTS SHALL REQUIRE SPECIAL INSPECTION:

PERIODIC SPECIAL INSPECTION OF NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM, INCLUDING WOOD SHEARWALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS AND HOLD-DOWNS.

CONTINUOUS SPECIAL INSPECTION OF RETROFIT EPOXY SHEARWALL ANCHORAGE TO EXISTING FOUNDATION (MAY BE PERFORMED BY ENGINEER OF RECORD).

**STRUCTURAL OBSERVATION:** THE FOLLOWING COMPONENTS SHALL REQUIRE STRUCTURAL OBSERVATION: BY THE ENGINEER OF RECORD (NOTIFY REDWOOD ENGINEERING 48 HOURS IN ADVANCE.) OBSERVATION OF COMPLETED FRAMING PRIOR TO INSPECTION BY BUILDING OFFICIAL

\*\* UPON COMPLETION OF THE WORK INCLUDED IN THE PERMIT, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFY ANY REPORTED DEFICIENCIES WHICH HAVE NOT BEEN CORRECTED.

**SHOP DRAWINGS:** SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.

**SHOP DRAWING CHECK:** THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH ONE RECORD COPY OF SHOP DRAWINGS A MINIMUM OF ONE WEEK PRIOR TO PLACEMENT. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT NOR DOES IT IMPLY THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS.

**PRE-MANUFACTURED TRUSSES:** PRE-MANUFACTURED ROOF TRUSSES SHALL BE DESIGNED FOR SUPERIMPOSED DEAD AND LIVE LOADS AS LISTED BELOW, CONCURRENT WITH WIND LOADS AND ANY LATERAL DRAG LOADS LISTED ON PLANS. PRE-MANUFACTURED ROOF TRUSSES SHALL BE DESIGNED FOR 10 PSF BOTTOM CHORD LIVE LOAD (NONCONCURRENT WITH OTHER LOADS).

**DEFERRED SUBMITTALS:** APPROVAL FOR THE FOLLOWING ITEMS SHALL BE PROVIDED IN WRITING BY REDWOOD ENGINEERING PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL:  
PRE-MANUFACTURED ROOF TRUSSES

**FOOTINGS:** ALL NEW PERIMETER FOOTINGS SHALL EXTEND A MINIMUM OF 18 INCHES BELOW LOWEST ADJACENT EXTERIOR GRADE. MINIMUM FOOTING WIDTH SHALL BE 16 INCHES, UNLESS NOTED OTHERWISE.

**ALLOWABLE BEARING PRESSURES FOR CONTINUOUS SPREAD FOOTINGS:**

DESCRIPTION / CONDITION	CONTINUOUS FOOTINGS	ISOLATED FOOTINGS
VERTICAL LOAD, NO SEISMIC OR WIND	1500 PSF	1500 PSF
VERTICAL LOAD PLUS SEISMIC OR WIND	2000 PSF	2000 PSF

**VERTICAL LOADS - PSF:**

DESCRIPTION:	DEAD	LIVE (UNREDUCED)	TOTAL
FLOOR	15	40	= 55
ROOF	16	20	= 36

**BUILDING DESIGN:**

PER 2013 CBC, ASCE 7-10  
SIMPLIFIED ALTERNATIVE STRUCTURAL DESIGN PROCEDURE.

**SEISMIC DESIGN CRITERIA:**  
I = 1.0, OCCUPANCY II  
S<sub>w</sub> = 1.549g S<sub>1</sub> = 0.570g  
SITE CLASS: D  
S<sub>Ds</sub> = 1.033 S<sub>D1</sub> = 0.570  
SEISMIC CATEGORY: D  
PLYWOOD SHEAR PANEL WOOD FRAMING  
C<sub>s</sub> = 0.175 R = 6.5

**BASIC WIND SPEED = 110 MILES PER HOUR**  
EXPOSURE B, I = 1.0, OCCUPANCY II  
λ = 1.0 FOR STRUCTURES 30' OR LESS

### CONCRETE NOTES

**CONCRETE PLACEMENT AND QUALITY:** SHALL BE PER RECOMMENDATIONS IN ACI 318-11 AND SUPPLEMENT 51. A COPY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE DURING CONSTRUCTION.

**CURING:** PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. START CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. KEEP CONTINUOUSLY MOIST FOR AT LEAST 14 DAYS ACCORDING TO ACI 301 PROCEDURES. CURING MAY BE BY MOIST CURING, MOISTURE RETAINING COVER, CURING COMPOUND OR COMBINATIONS THEREOF.

**COLD WEATHER CONCRETING:** PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES IN COMPLIANCE WITH ACI 306. WHEN TEMPERATURES FALL BELOW 40 DEGREES FAHRENHEIT, UNIFORMLY HEAT WATER AND AGGREGATES BEFORE MIXING TO OBTAIN A CONCRETE MIXTURE TEMPERATURE OF NOT LESS THAN 50 DEGREES FAHRENHEIT AND NOT MORE THAN 80 DEGREES FAHRENHEIT AT POINT OF PLACEMENT.

**HOT WEATHER CONCRETING:** PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH CAUSED BY HIGH TEMPERATURES IN COMPLIANCE WITH ACI 305. UNIFORMLY COOL WATER AND AGGREGATES BEFORE MIXING TO OBTAIN A CONCRETE MIXTURE TEMPERATURE OF NOT GREATER THAN 90 DEGREES FAHRENHEIT AT POINT OF PLACEMENT.

**DEBRIS:** REMOVE ALL DEBRIS FROM FORMS BEFORE POURING.

**SEGREGATION OF AGGREGATES:** CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES OR TRUNKS OF VARYING LENGTHS SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FEET.

**INSERTS:** ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, BOLTS, ANCHORS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING THE CONCRETE.

**DOWELING:** ALL WALLS AND COLUMNS SHALL BE DOWELED INTO FOOTINGS, WALLS, BEAMS, OR SLABS WITH BARS OF THE SAME SIZE AND SPACING AS THE BARS ABOVE. USE A (30) BAR DIAMETER LAP EXCEPT WHERE SPECIFICALLY INDICATED.

**SPLICES:** VERTICAL WALL BARS SHALL BE SPLICED AT OR NEAR FLOOR LINES. SPLICE BARS IN SPANDRELS, WALLS, BEAMS, GRADE BEAMS, ETC., AS FOLLOWS; TOP BARS AT CENTER LINE OF SPAN, BOTTOM BARS AT THE SUPPORT. ALL REINFORCING STEEL SHALL BE SECURELY WIRED AND PROPERLY SUPPORTED ABOVE THE GROUND AND AWAY FROM FORMS.

BAR SIZE	LAP SPLICE LENGTH
#4	24"
#5	30"
#6	36"

**PIPES:** PIPES OTHER THAN ELECTRICAL CONDUITS SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY THE ENGINEER. MAXIMUM PIPE SIZE SHALL BE 1/3 OF THE SLAB THICKNESS AND LOCATED AT THE MID DEPTH. MINIMUM SPACING SHALL BE 3 TIMES THE PIPE DIAMETER. PIPES SHALL NOT IMPAIR THE STRENGTH OF THE MEMBER.

**REBAR GRADES:** ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:  
#4 & SMALLER BARS ..... GRADE 40  
#5 & LARGER BARS ..... GRADE 60

**REBAR COVER:** ALL DIMENSIONS SHOWING THE LOCATION OF REINFORCING STEEL NOT NOTED AS 'CLEAR' ARE TO CENTER OF STEEL. MINIMUM REBAR COVER FOR NON-PRESTRESSED CONCRETE SHALL BE AS FOLLOWS:

DESCRIPTION / CONDITION	MINIMUM COVER	TOLERANCES + OR -
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"	3/8"
EXPOSED TO EARTH OR WEATHER		
NO. 5 AND SMALLER BARS	1-1/2"	3/8"
NO. 6 AND LARGER BARS	2"	3/8"
SLABS ON GRADE	1-1/2"	1/4"

**TOLERANCES FOR REBAR PLACEMENT:** TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS 2 INCHES EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE PLUS OR MINUS 1/2"

**CONCRETE QUALITY:**

CONCRETE USE:	STRENGTH @ 28 DAYS	SLUMP	AGGREGATE SIZE	AGGREGATE TYPE
EXTERIOR WALKS AND CURBS	2500	4"	1/2"	HARDROCK
SLAB ON GRADE	2500	4"	1/2"	HARDROCK
SPREAD FOOTINGS	2500	4"	1/2"	HARDROCK
CONTINUOUS FOOTINGS	2500	4"	1/2"	HARDROCK

**CONCRETE:** HARDROCK CONCRETE SHALL BE OF 150 POUNDS PER CUBIC FOOT MAX. LIGHT WEIGHT CONCRETE SHALL BE OF 110 POUNDS PER CUBIC FOOT MAX.

**AGGREGATE:** AGGREGATE SHALL BE AS FOLLOWS:

HARDROCK ASTM 33  
LT. WT. ASTM 330

**CEMENT:** SHALL BE TYPE II. CONCRETE IN CONTACT WITH ON SITE SOILS SHALL CONTAIN TYPE V OR EQUIVALENT SULFATE RESISTANT CEMENT WHEN REQUIRED BY GEOTECHNICAL INVESTIGATION. **CONCRETE MIXES:** SHALL BE DESIGNED BY A CERTIFIED INDEPENDENT LABORATORY.

**ADD MIXTURES:** CONCRETE MAY CONTAIN MAXIMUM 25% FLY ASH. OTHER ADDITIVES SHALL BE USED AT THE DISCRETION OF THE SUPPLIER, AND SHALL NOT NEGATIVELY AFFECT CONCRETE STRENGTH OR PERFORMANCE.

**CONCRETE AGE:** NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY. CONCRETE SHALL BE PLACED WITHIN 15 MINUTES AFTER DISCHARGE.

**FIELD FOREMAN:** THE FIELD FOREMAN RESPONSIBLE FOR THE PLACEMENT OF ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM OF (3) YEARS EXPERIENCE IN THIS CAPACITY FOR THIS TYPE OF CONSTRUCTION.

### CONTRACTOR RESPONSIBILITY NOTE:

THE CONTRACTOR RESPONSIBLE FOR THE MAIN LATERAL FORCE-RESISTING SYSTEM OR ITS COMPONENTS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO THE COMMENCEMENT OF WORK CONTAINING THE FOLLOWING INFORMATION:

1. ACKNOWLEDGMENT OF THE AWARENESS OF THE SPECIAL REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS (AS LISTED ON SHEET SN1).
2. ACKNOWLEDGMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL.
3. PROCEDURES FOR EXERCISING CONTROL WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF REPORTS.
4. IDENTIFICATION AND QUALIFICATIONS OF THE PERSONS EXERCISING SUCH CONTROL AND THEIR POSITION WITHIN THE ORGANIZATION.

### TIMBER NOTES

**WORKMANSHIP:** ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE AND TIGHT AND WELL NAILED WITH MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT BUILDING CODES. THE SHIMMING OF SILLS, JOISTS, SHORT STUDS, TRIMMERS, HEADERS, OR OTHER FRAMING MEMBERS SHALL NOT BE PERMITTED. ALL WALLS AND PARTITIONS SHALL BE STRAIGHT, PLUMB, AND ACCURATELY LOCATED. CAREFULLY SELECT ALL STRUCTURAL MEMBERS. INDIVIDUAL PIECES SHALL BE SELECTED SO THAT KNOTS AND OBVIOUS MINOR DEFECTS WILL NOT INTERFERE WITH THE PLACING OF BOLTS, OR PROPER NAILING, OR THE MAKING OF SOUND CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER FOR EXCESSIVE WARP, TWIST, BOW OR CROOK, MILDEW, FUNGUS, OR MOLD AS WELL AS FOR IMPROPER GRADE MARKING. DEFECTS WHICH RENDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION SHALL BE DISCARDED.

**GRADE MARKINGS:** EACH PIECE OF STRUCTURAL LUMBER, PLYWOOD, AND TIMBER SHALL BE MARKED WITH THE GRADE ASSIGNED BY THE APPROPRIATE TESTING AND CERTIFICATION AGENCY.

**SIZING AND SURFACING:** ALL LUMBER, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, SHALL BE MILL SIZED AND SURFACED ON (4) SIDES. ALL PIECES SHALL BE STRAIGHT STOCK, FREE FROM WARP OR CLIP, AND SINGLE LENGTHS. SPLICING WILL NOT BE PERMITTED EXCEPT WHERE SPECIFICALLY SO DETAILED OR AS DIRECTED BY THE ENGINEER.

**FIELD FOREMAN:** THE FIELD FOREMAN RESPONSIBLE FOR ALL TIMBER CONSTRUCTION SHALL HAVE A MINIMUM OF (3) YEARS EXPERIENCE IN THIS CAPACITY FOR THIS TYPE OF CONSTRUCTION.

**FRAMING HARDWARE:** JOIST HANGERS, STRAPS, HOLDOWNS, ETC., SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR APPROVED EQUAL.

**BLOCKING AND FIRESTOPPING:** INSTALL ALL BLOCKING AS REQUIRED TO SUPPORT ALL ITEMS OF FINISH SUCH AS BULKHEADS AND DOOR BUCKS. PROVIDE FIREBLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS.

**DOUBLE FLOOR JOISTS:** PROVIDE UNDER ALL WALLS PARALLEL TO DIRECTION OF FRAMING, NOT SUPPORTED BY WALL TO FOUNDATION BELOW.

**Hdq / PHD HOLDOWNS:** WHERE HDQ OR PHD HOLDOWNS ARE SPECIFIED, 2-2x4 POSTS MINIMUM MUST BE USED. (TYPICAL UNLESS NOTED OTHERWISE).

**STUD SIZE:** USE 2 x 4 STUDS AT 16 INCHES ON CENTER AT ALL EXTERIOR WALLS UP TO 10'-0" TALL. USE 2 X 6 STUDS AT 16' O.C. AT ALL EXTERIOR WALLS UP TO 16'-0" TALL. SEE ARCHITECTURAL DRAWINGS FOR WALL THICKNESS. USE 3x4 OR 2x6 STUDS AT 16' O.C. AT FIRST FLOOR OF 3 STORY BUILDING.

**MOISTURE CONTENT:** ALL NEW FRAMING SHALL HAVE NO GREATER THAN 19% MOISTURE AT TIME OF INSTALLATION.

**BOLTING:** BOLTS SHALL BE INSTALLED IN HOLES BORED WITH A BIT 1/16 INCH LARGER THAN THE DIAMETER OF THE BOLT. BOLTS AND NUTS SEATING ON WOOD SHALL HAVE CUT STEEL WASHERS UNDER HEADS AND NUTS. NUTS SHALL BE PULLED TIGHT AND AGAIN CHECKED AND TIGHTENED JUST PRIOR TO ENCLOSING BOLTED MEMBERS. COUNTER BORE FOR BOLTED HEADS OR NUTS ONLY WHERE SO INDICATED ON THE DRAWINGS, AND THEN ONLY TO SUFFICIENT DEPTH TO HOUSE THE BOLT HEAD OR NUT AND WASHER. CUT OFF EXCESSIVE BOLT PROJECTION WHERE NECESSARY. NICK THREADS TO PREVENT LOOSENING.

**SPIKING:** WHERE SPIKING IS CALLED FOR ON THE DRAWINGS, SUCH AS IN MULTIPLE JOISTS OR STUDS, SPIKE EACH PIECE WITH (2) ROWS OF 1 6d NAILS AT 12 INCHES ON CENTER, STAGGERED 6 INCHES. THE (2) ROWS SHALL BE 5PACED AT 3 INCHES MINIMUM.

**NAILING:** COMMON NAILS SHALL BE USED WHEN NAILING IS SPECIFIED ON THESE PLANS, SUCH AS AT SHEAR WALLS AND DIAPHRAGMS. ALL OTHER NAILING MAY BE OF THE 'SINKER' TYPE.

**PLYWOOD GRADE:** ALL PLYWOOD STRUCTURAL PANELS SHALL BE EXTERIOR GRADE 'CD-X' UNLESS NOTED OTHERWISE ON PLANS.

**PLYWOOD DIRECTION:** LAY FLOOR AND ROOF PLYWOOD PERPENDICULAR TO FRAMING, SEE DETAIL 4/502. PROVIDE MIN. 1/8" GAP ALONG ALL PANEL EDGES AND ENDS.

**WALL BLOCKING:** PROVIDE BLOCKING FOR ALL SHEAR WALL PANELS. ALL SHEATHING PANELS SHALL HAVE A MINIMUM OF TWO-INCH NOMINAL BACKING AT EDGES, EXCEPT WHERE 3X BLOCKING IS REQUIRED PER SHEARWALL SCHEDULE.

**SILLS:** MUDSILL SHALL BE OF PRESERVATIVE TREATED DOUGLAS FIR. SHEAR WALLS AND EXTERIOR WALL SILLS AT CONCRETE SLAB SHALL HAVE 5/8 INCH DIAMETER ANCHOR BOLTS SPACED AT 48 INCHES ON CENTER UNLESS NOTED OTHERWISE IN SHEARWALL SCHEDULE. SEE DETAIL 4/501 FOR TYPICAL MUDSILL ATTACHMENT. ALL NONSTRUCTURAL WALLS MAY BE ATTACHED WITH CONCRETE NAILS SPACED AT 32 INCHES ON CENTER MAXIMUM WITH A ONE INCH PENETRATION INTO SLAB. CONCRETE NAILS SHALL NOT BE INSTALLED UNTIL THE CONCRETE HAS REACHED THE STRENGTH OF 2500 PSI.

**EXPOSED FRAMING:** FRAMING EXPOSED TO MOISTURE SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH NDS SPECIFICATIONS.

**CONNECTORS:** CONNECTION HARDWARE USED WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIP GALVANIZED.

**WOOD FRAMING REVIEW:** STRUCTURAL WOOD FRAMING SHALL BE REVIEWED BY THE ENGINEER OR HIS REPRESENTATIVE PRIOR TO PLACING COVERINGS. THE ENGINEER SHALL BE NOTIFIED AT LEAST (48) HOURS IN ADVANCE.

**WOOD FRAMING:** SHALL COMPLY WITH SECTION 2304 OF THE 2013 CBC .

**MANUFACTURED WOOD PRODUCTS:** ON PLANS ARE PER SPECIFICATIONS BY: 'TRUS-JOIST CORPORATION.' A PRODUCT OF EQUAL OR GREATER SPECIFICATION MAY BE USED SUBJECT TO THE ENGINEER'S APPROVAL. THE DESIGN, DETAILING, ERECTION, BRACING, AND BLOCKING OF THESE PRODUCTS SHALL BE PER THE RECOMMENDATIONS OF THE MANUFACTURER.

**LUMBER QUALITY:** UNLESS NOTED OTHERWISE ON THE DRAWINGS, LUMBER SHALL BE AT LEAST OF THE GRADES SHOWN IN THE TABLE BELOW. ALL LUMBER SHALL BE SURFACED AND FREE OF HEART CENTER.

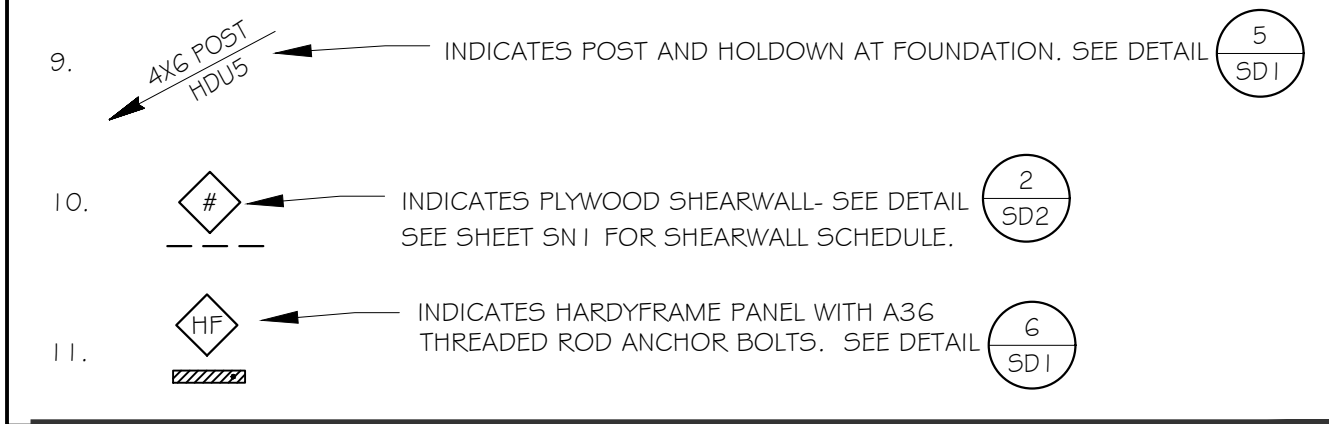
**MINIMUM LUMBER GRADES:**  
DESIGN VALUES IN POUNDS PER SQUARE INCH (PSI)

SPECIES: DOUGLAS FIR LARCH	BENDING	SHEAR PARALLEL TO GRAIN	COMPRESSION PARALLEL TO GRAIN	MODULUS OF ELASTICITY *	
PRIMARY USAGE	F <sub>b</sub>	F <sub>v</sub>	F <sub>c</sub>	E	
STUDS, JOISTS AND RAFTERS	2x4 STUD	700	95	850	1.4
	2X6 4 UP DF#2	900	95	1350	1.6
SAWN BEAMS	4X DF#1	1000	85	1350	1.6
SAWN BEAMS	6X 4 UP DF#1	1350	85	925	1.6
SAWN POSTS	4X4 4 UP DF#1	1200	95	1000	1.6
MANUFACTURED LUMBER PRODUCTS					
BEAMS	ALL PARALLAM PSL 2.0E	2900	290	2900	2.0
BEAMS/JOISTS	ALL MICROLAM LVL 1.9E	2600	285	2510	1.9
BEAMS/JOISTS	ALL TIMBERSTRAND LSL 1.5E	2250	400	1950	1.5

\* MULTIPLY ALL 'E' VALUES BY 1,000,000 TO OBTAIN UNITS OF PSI.

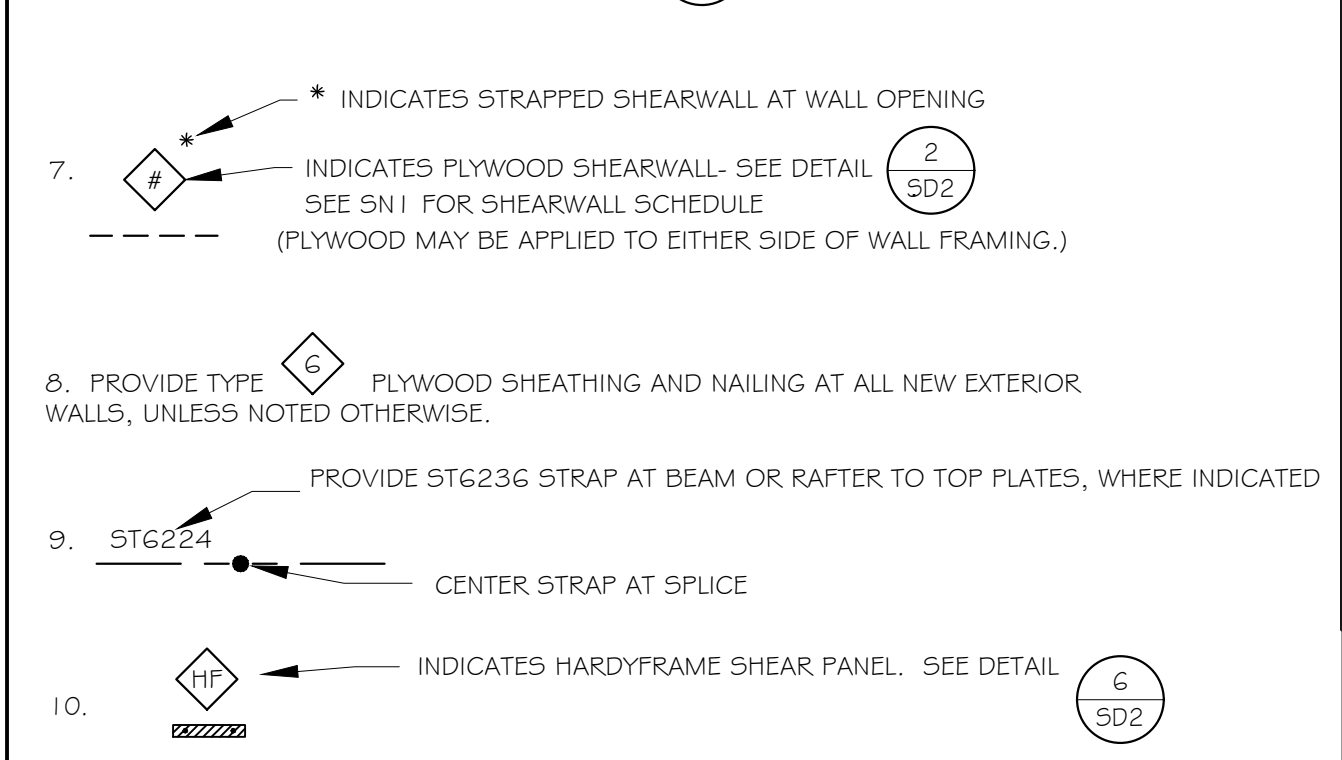
### FOUNDATION PLAN NOTES

1. PROVIDE MIN. 8" CLEAR FROM WOOD FRAMING TO EARTH OR CONCRETE, UNLESS PRESERVATIVE- TREATED OR DECAY- RESISTANT FRAMING IS USED.
2. ALL PERIMETER FOOTINGS SHALL EXTEND MINIMUM 18" BELOW LOWEST ADJACENT EXTERIOR GRADE. BUILDING PAD PREPARATION AND FOOTING EXCAVATIONS SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO CONCRETE PLACEMENT.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH ARCHITECTURAL AND CIVIL PLANS. REPORT ALL DISCREPANCIES TO ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR ANY EXTERIOR SLABS, SIDEWALKS, AND STOOPS NOT SHOWN ON THESE DRAWINGS.
5. ESTABLISH AND VERIFY EXACT SIZE AND LOCATIONS OF ALL OPENINGS AND INSERTS IN SLAB FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
6. PROVIDE 5/8" DIA. A307 ANCHOR BOLTS AT 48" O.C. MAX. TO CONCRETE AT MUDSILL. REFER TO DETAIL 4/501 AND SHEARWALL SCHEDULE FOR MORE INFORMATION.
7. DEEPEN FOOTING EXCAVATION AS REQUIRED TO MAINTAIN MINIMUM 3" CLEAR CONCRETE COVER BETWEEN STEEL AND SOIL AT EMBEDDED ANCHORS.
8. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC COATED STEEL. ALTERNATE METHODS AND MATERIALS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE.



### ROOF AND FLOOR FRAMING PLAN NOTES

1. ROOF SHEATHING TO BE MIN. 5/8" APA RATED 32/16 SPAN CD-X PLYWOOD OR OSB SHEATHING WITH 8d COMMON NAILS AT 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING, UNLESS NOTED OTHERWISE. FLOOR SHEATHING TO BE 3/4" APA RATED 48/24 SPAN CD-X T&G PLYWOOD OR OSB SHEATHING GLUED AND NAILED WITH 10d COMMON NAILS AT 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING, UNLESS NOTED OTHERWISE.
2. PROVIDE INSULATION, VENTILATION AND WATERPROOFING AT ALL NEW EXTERIOR WALL AND ROOF AREAS PER ARCHITECTURAL DRAWINGS.
3. DOUBLE 2X TRIM POST W/ DBL. 2X KING STUD AT EACH END OF ALL BEAMS AND WALL OPENINGS OVER 6' IN LENGTH, UNLESS NOTED OTHERWISE. SEE DETAIL 1/502 FOR TYPICAL WALL FRAMING.
4. PROVIDE SIMPSON 'LUS' HANGER AT 2X FRAMING, U.N.O. PROVIDE SIMPSON 'MIT' HANGER AT I-JOISTS, U.N.O. PROVIDE SIMPSON 'HGUS' HANGER AT PSL BEAM, U.N.O.
5. 4X OR 6X POSTS SHALL BE PROVIDED WHERE SHOWN ON PLANS. POST SHALL BE CONTINUOUS TO FOUNDATION.
6. PROVIDE DBL. TOP PLATE SPLICE PER DETAIL 8/502 AT PLATE BREAK (TYP.)



### SHEARWALL SCHEDULE

TYPE	SHEATHING	NAILING	SILL PLATE	TOP CONNECTION	BOTTOM CONNECTION (SPN)
6	1/2" CD-X ONE SIDE	10d COMMON @ 6" O.C. EDGES @ 12" O.C. FIELD	2x	L70 @ 16' O.C.	16d COMMON NAILS @ 5' O.C. AT SECOND FLOOR 5/8" X 10" A.B. @ 32" O.C. AT FOUNDATION
4	1/2" CD-X ONE SIDE	10d COMMON @ 4" O.C. EDGES @ 12" O.C. FIELD	3x	L70 @ 10' O.C.	16d COMMON NAILS @ 3' O.C. AT SECOND FLOOR 5/8" X 12" A.B. @ 24" O.C. AT FOUNDATION
3	1/2" CD-X ONE SIDE	10d COMMON @ 3' O.C. EDGES @ 12" O.C. FIELD	3x	L70 @ 8' O.C.	16d COMMON NAILS @ 2' O.C. AT SECOND FLOOR 5/8" X 12" A.B. @ 24" O.C. AT FOUNDATION

- NOTES:**
1. PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES WHEN NAIL SPACING IS 4" O.C. OR CLOSER.
  2. USE 10d COMMON WIRE NAILS.
  3. BLOCK ALL PANEL EDGES.
  4. SEE DETAIL 2/502 FOR SHEARWALL FRAMING INFORMATION.
  5. SEE DETAIL 4/501 FOR TYPICAL MUDSILL ATTACHMENT TO FOUNDATION.

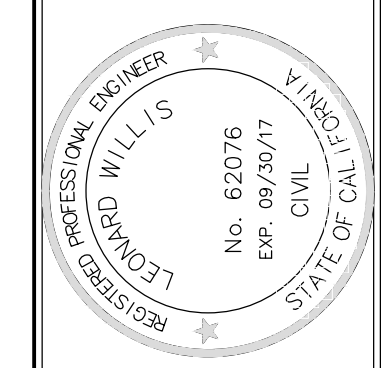
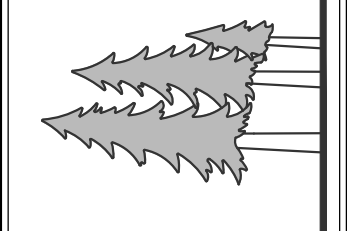
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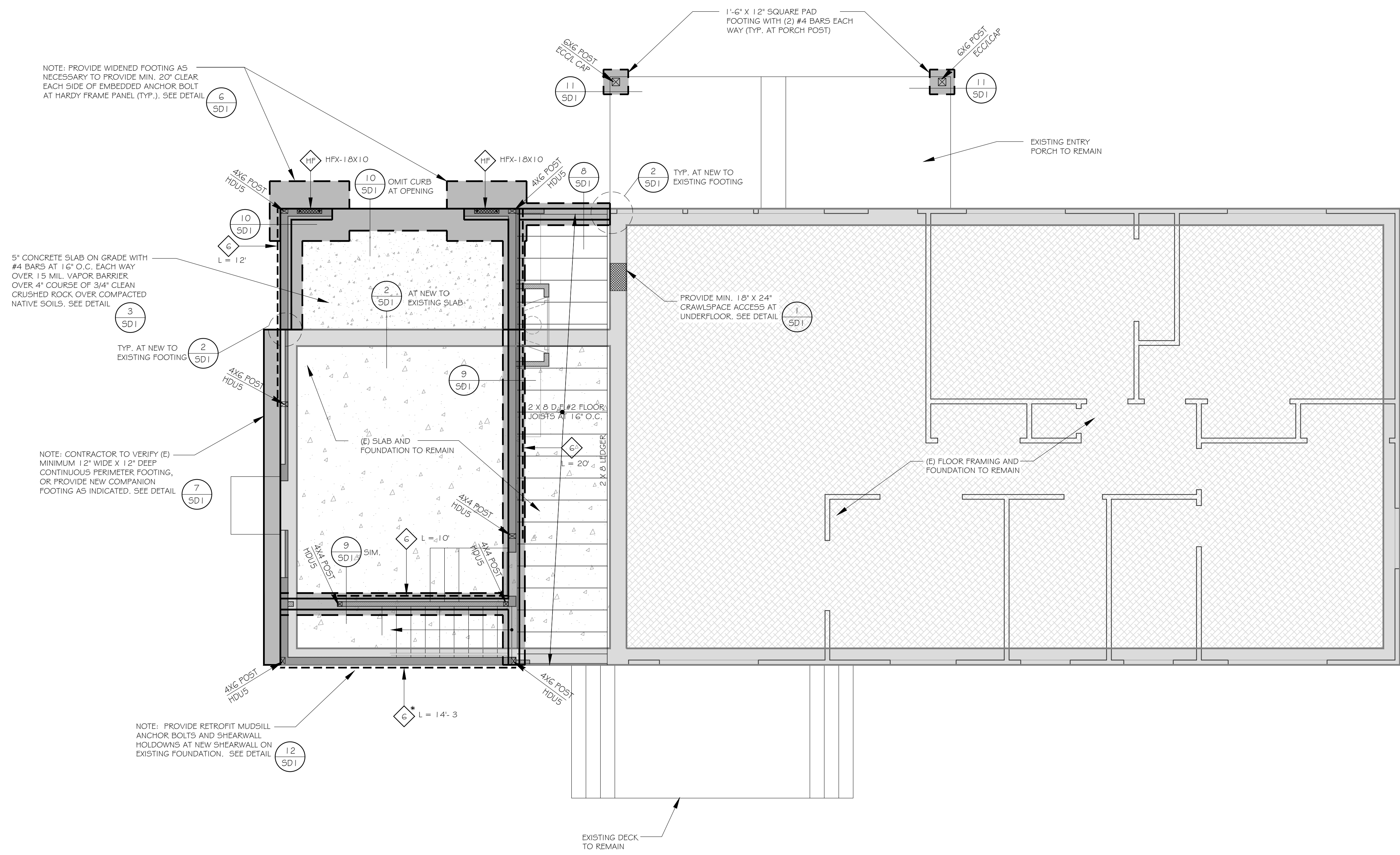
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GAMBELLO RESIDENCE ADDITION  
879 MARINO PINES ROAD  
PACIFIC GROVE, CA 93950

JOB NUMBER: 1673  
OFFICE NOTE:  
BUILDING DEPARTMENT  
SUBMITTAL SET  
AUGUST 11, 2016  
A.P.N.: 006-633-016  
REVISIONS:

SHEET  
51



NOTE: PROVIDE WIDENED FOOTING AS NECESSARY TO PROVIDE MIN. 20\"/>

5\"/>

NOTE: CONTRACTOR TO VERIFY (E) MINIMUM 12\"/>

NOTE: PROVIDE RETROFIT MUDSILL ANCHOR BOLTS AND SHEARWALL HOLDOWNS AT NEW SHEARWALL ON EXISTING FOUNDATION. SEE DETAIL

FOUNDATION PLAN

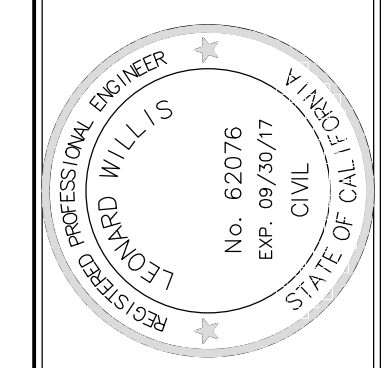
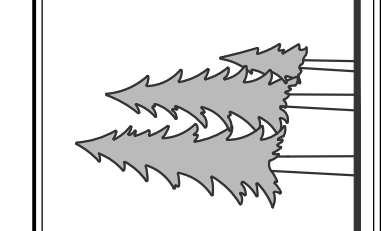
1/4" = 1'-0"

NOTE: ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC COATED STEEL. ALTERNATE METHODS AND MATERIALS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE.

NOTE: ALL EMBEDDED INSERTS IN FOUNDATION SHALL BE SECURELY ATTACHED TO FORMWORK PRIOR TO CONTRACTOR REQUESTING FOUNDATION INSPECTION FROM THE BUILDING OFFICIAL.

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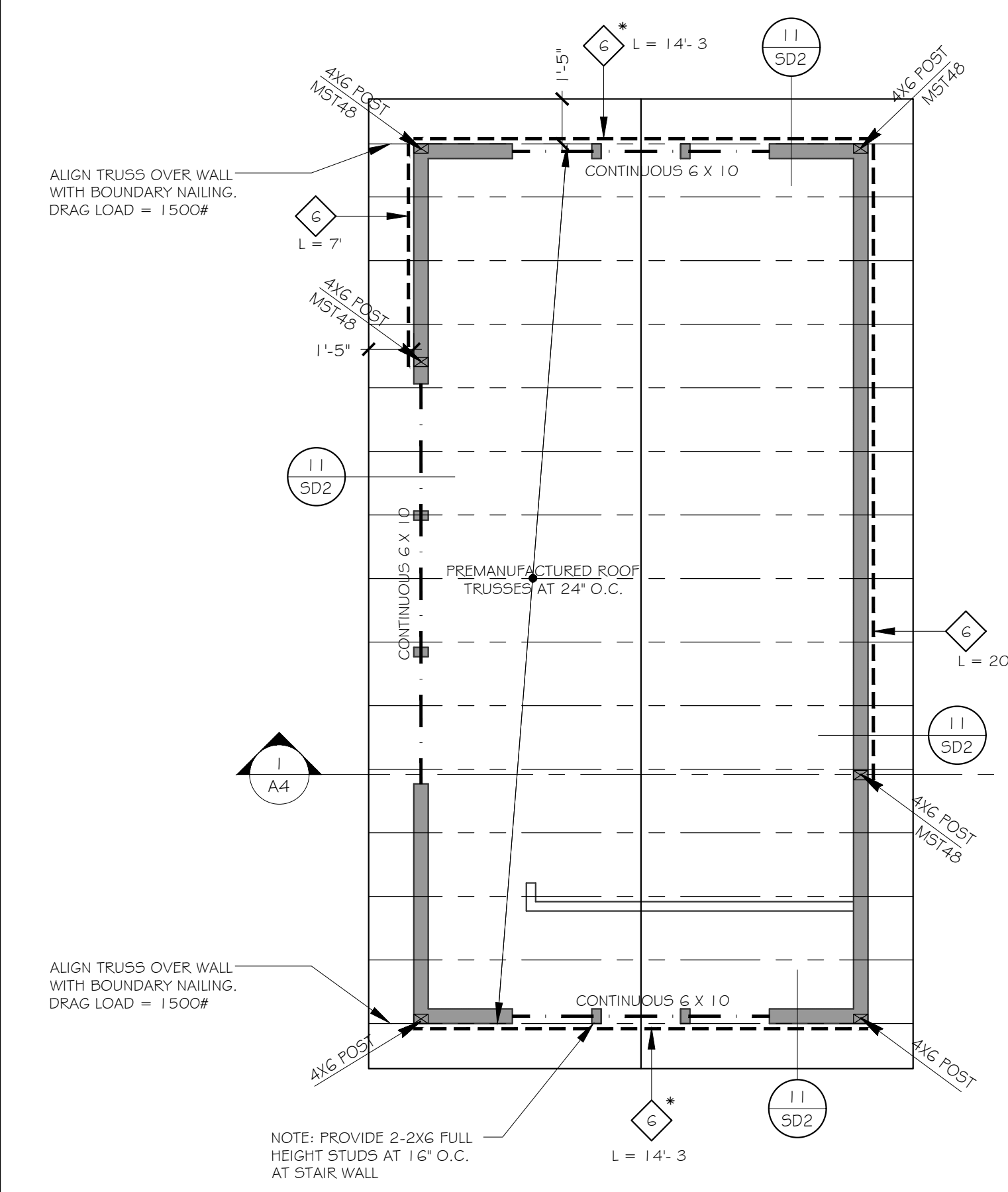


GAMBELLO RESIDENCE ADDITION  
879 MARINO PINES ROAD  
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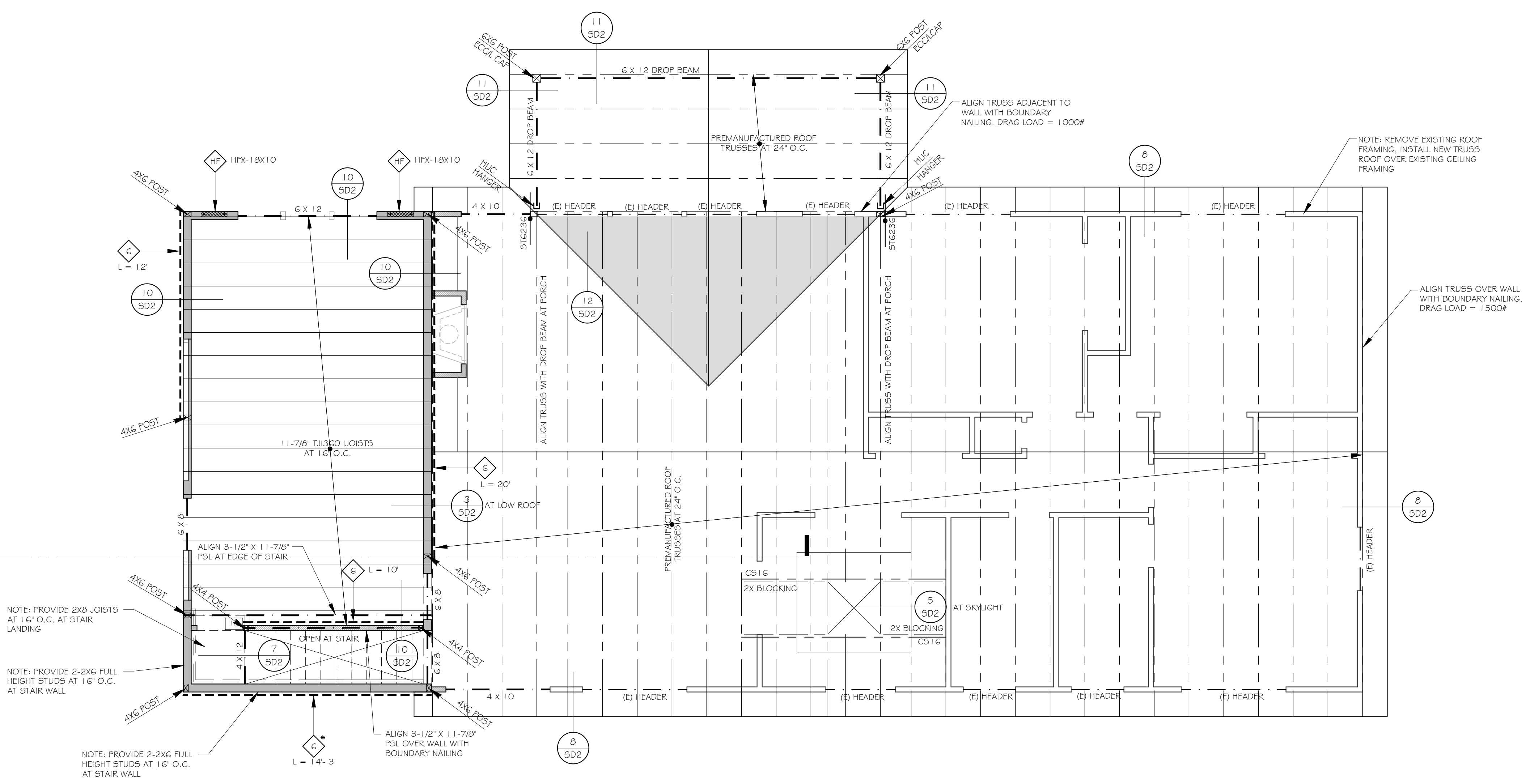
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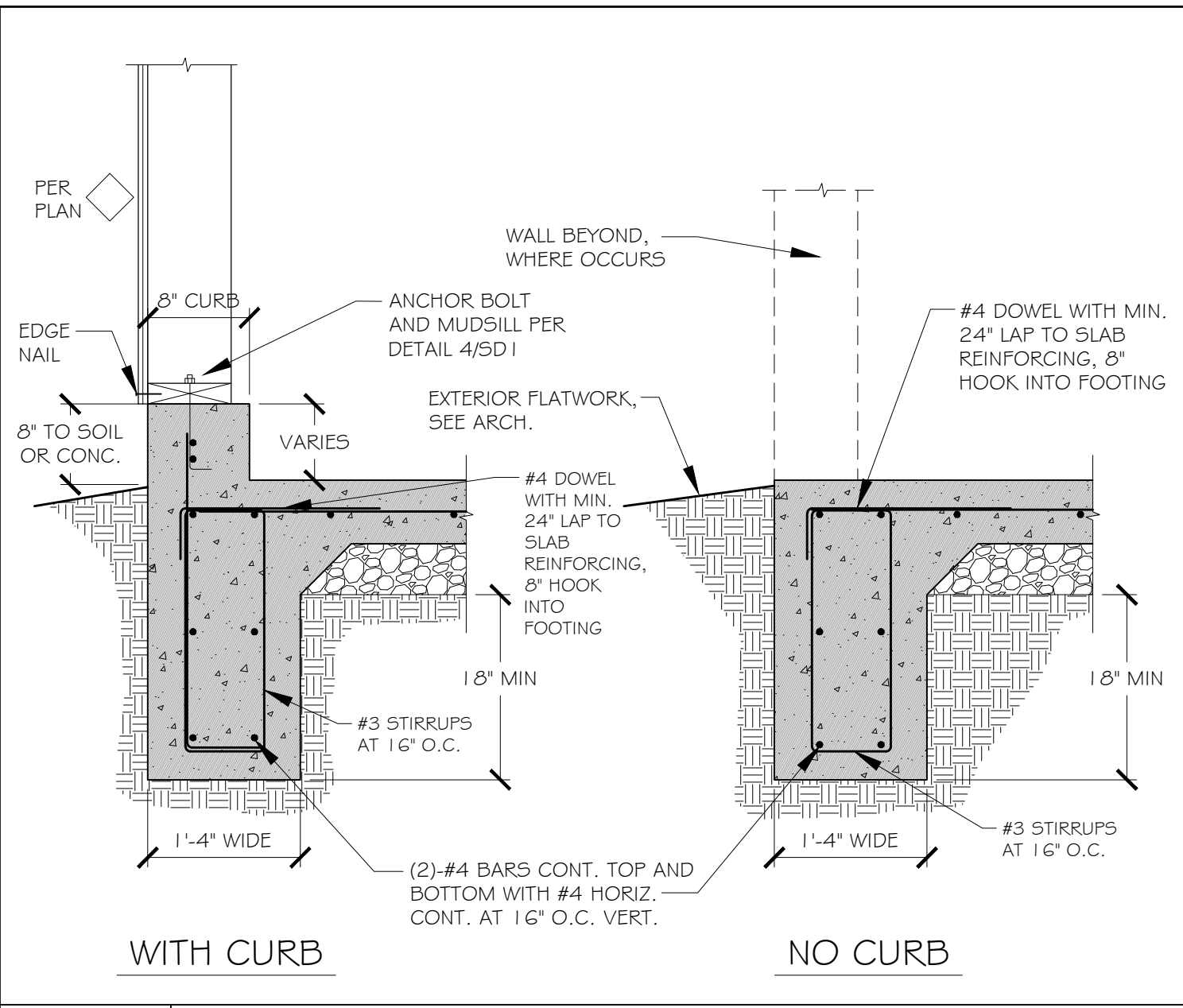
UPPER ROOF FRAMING PLAN

1/4" = 1'-0"

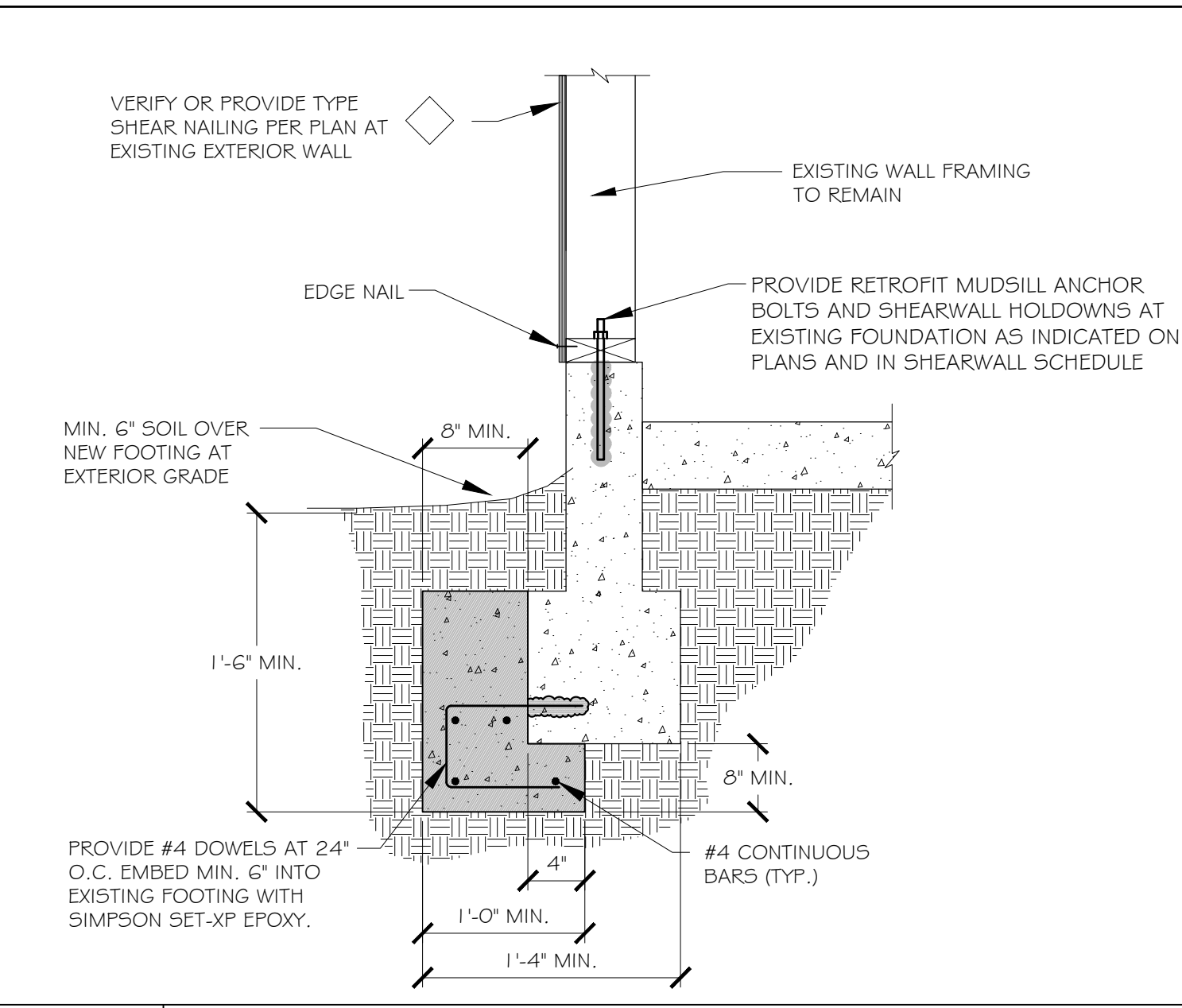


UPPER FLOOR/ LOWER ROOF FRAMING PLAN

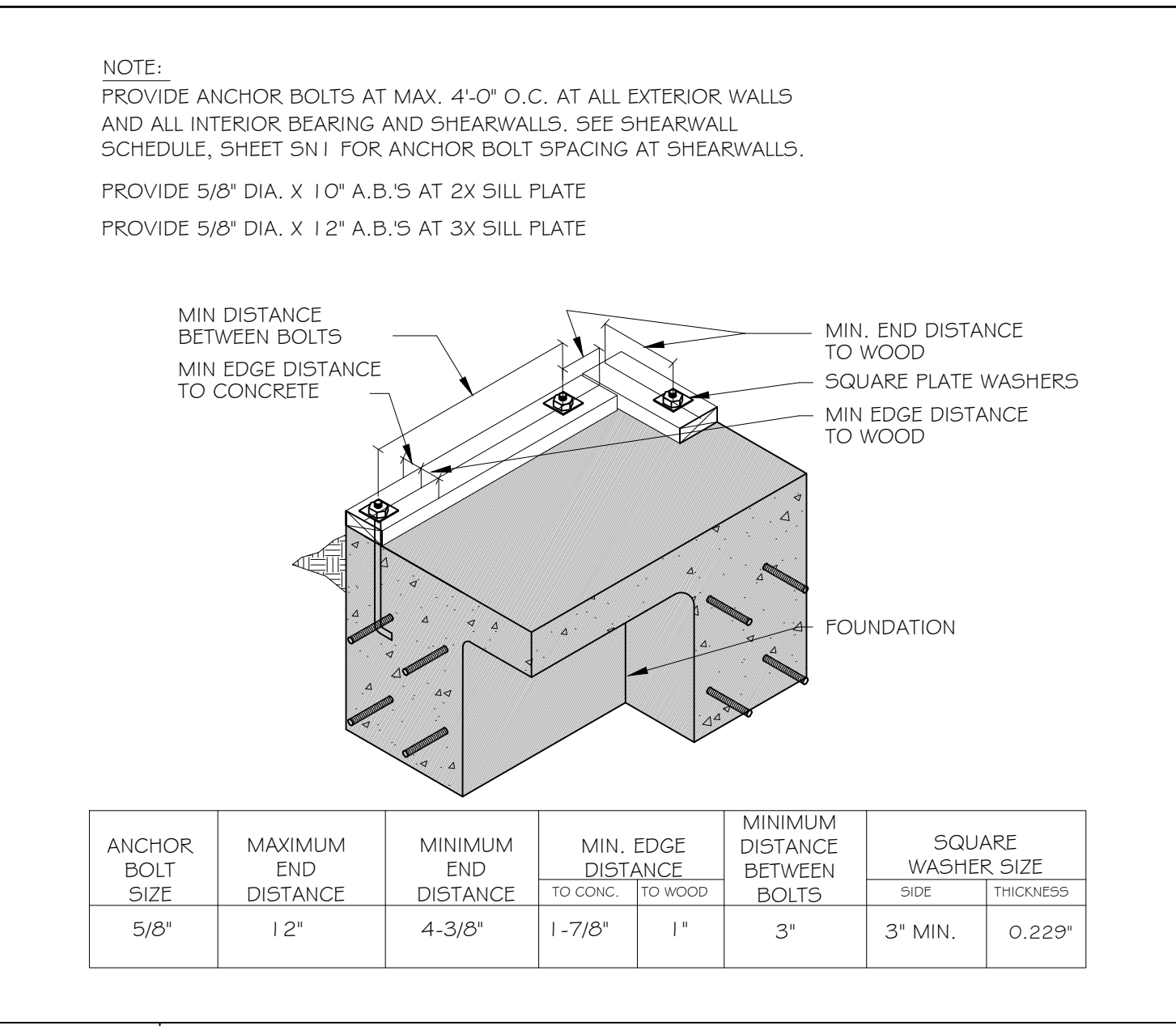
1/4" = 1'-0"



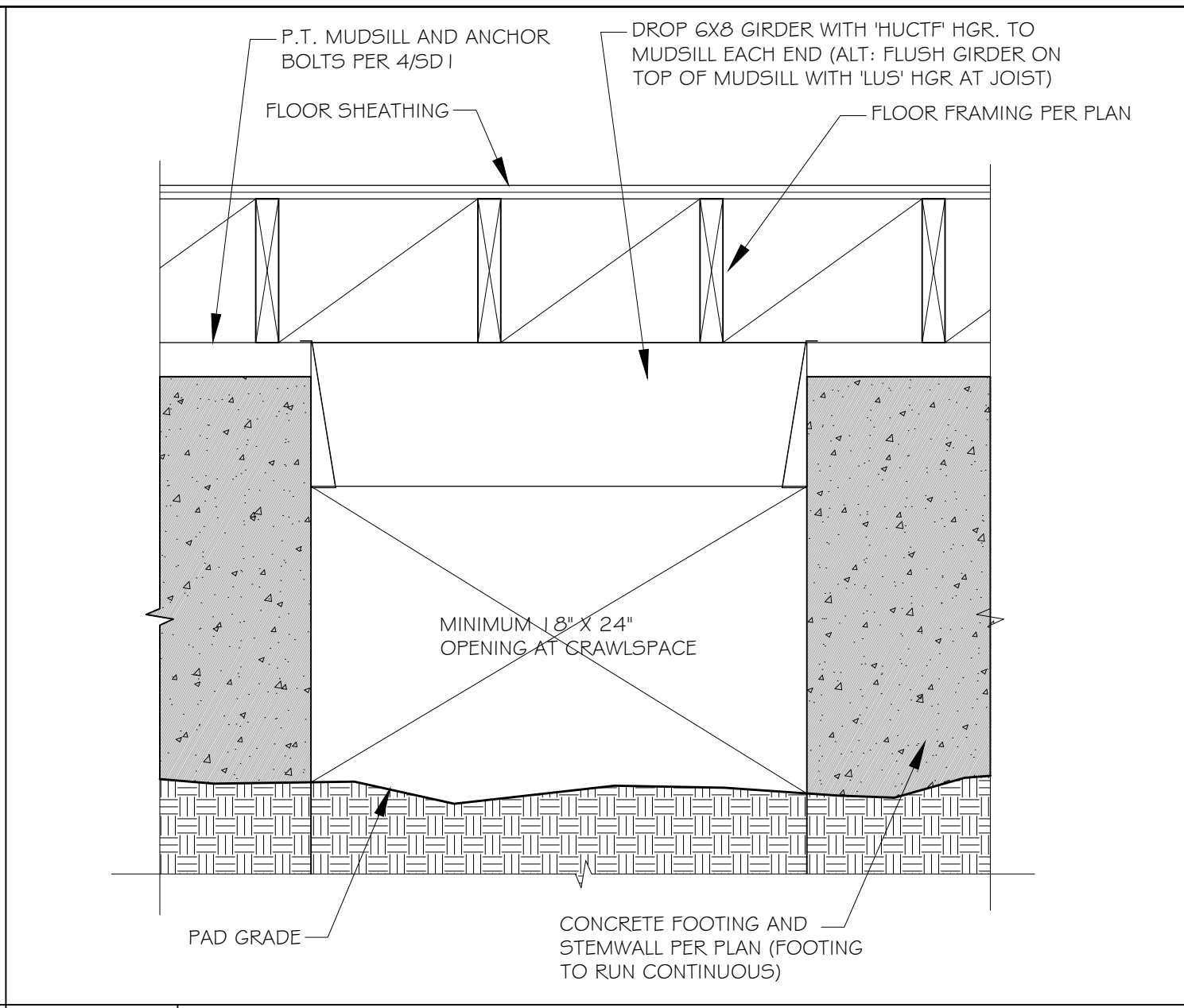
10 CURB FOOTING AT GARAGE



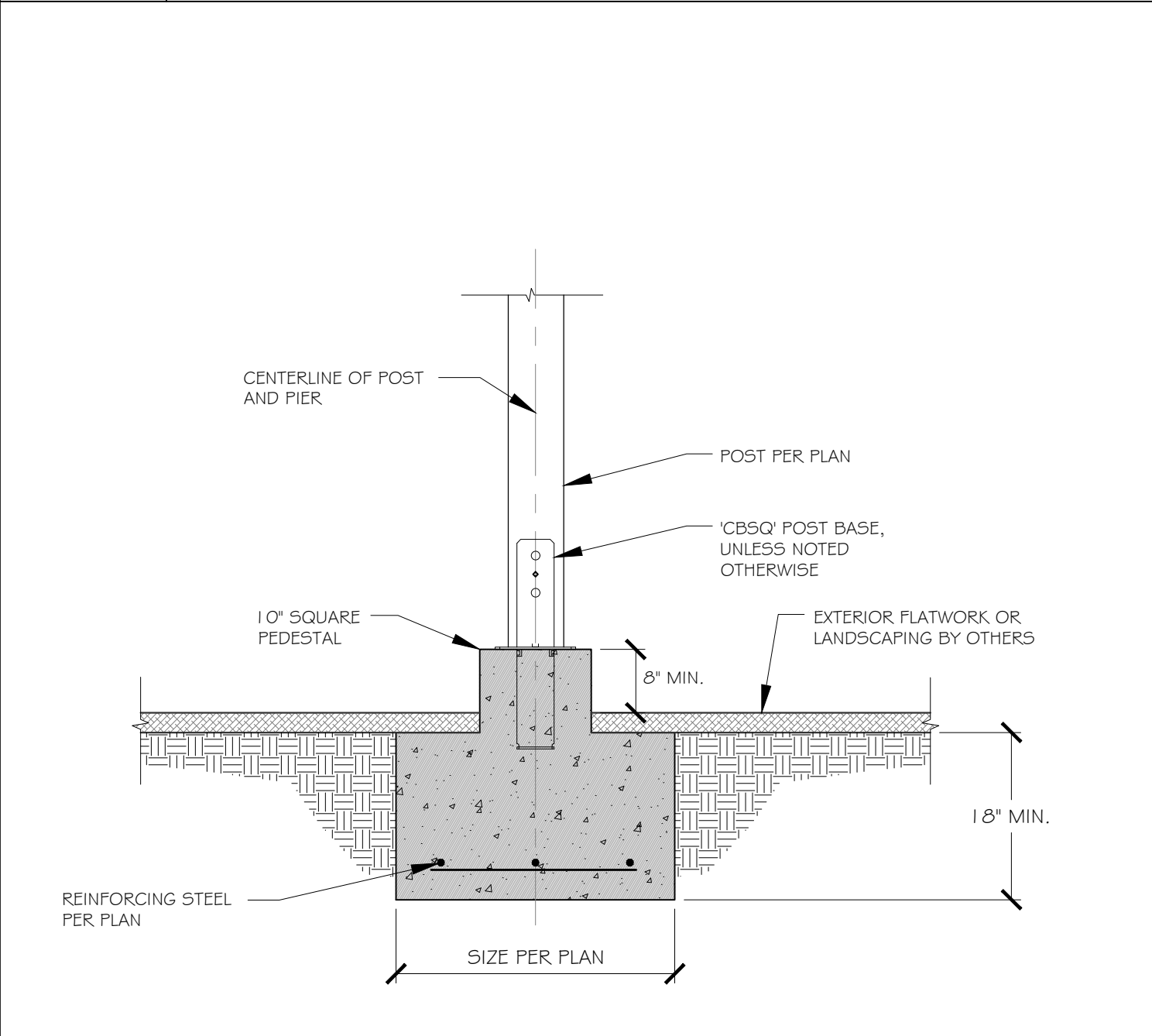
7 COMPANION FOOTING AT SLAB



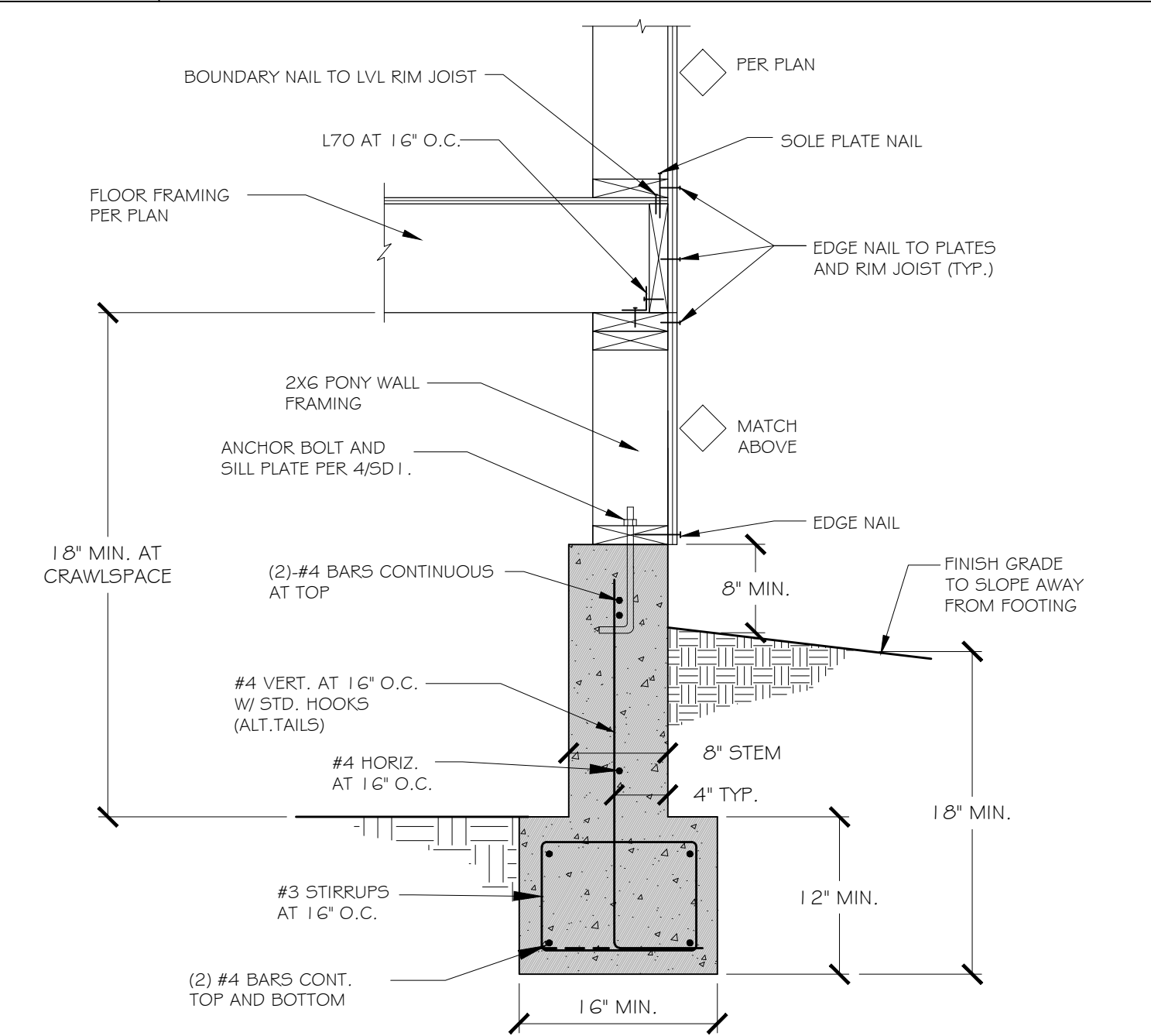
4 TYPICAL MUDSILL ATTACHMENT



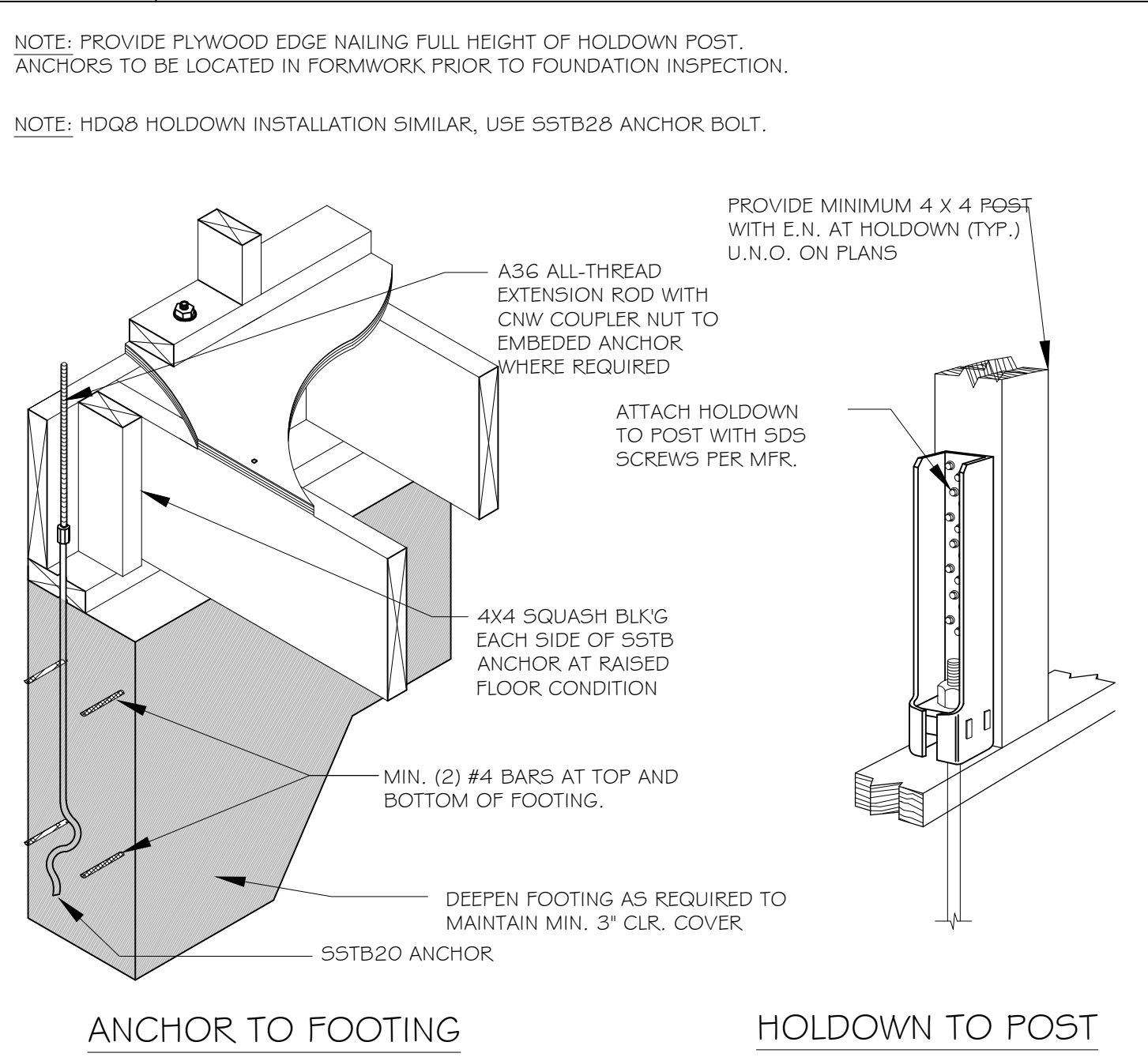
1 CRAWLSPACE AT FOUNDATION



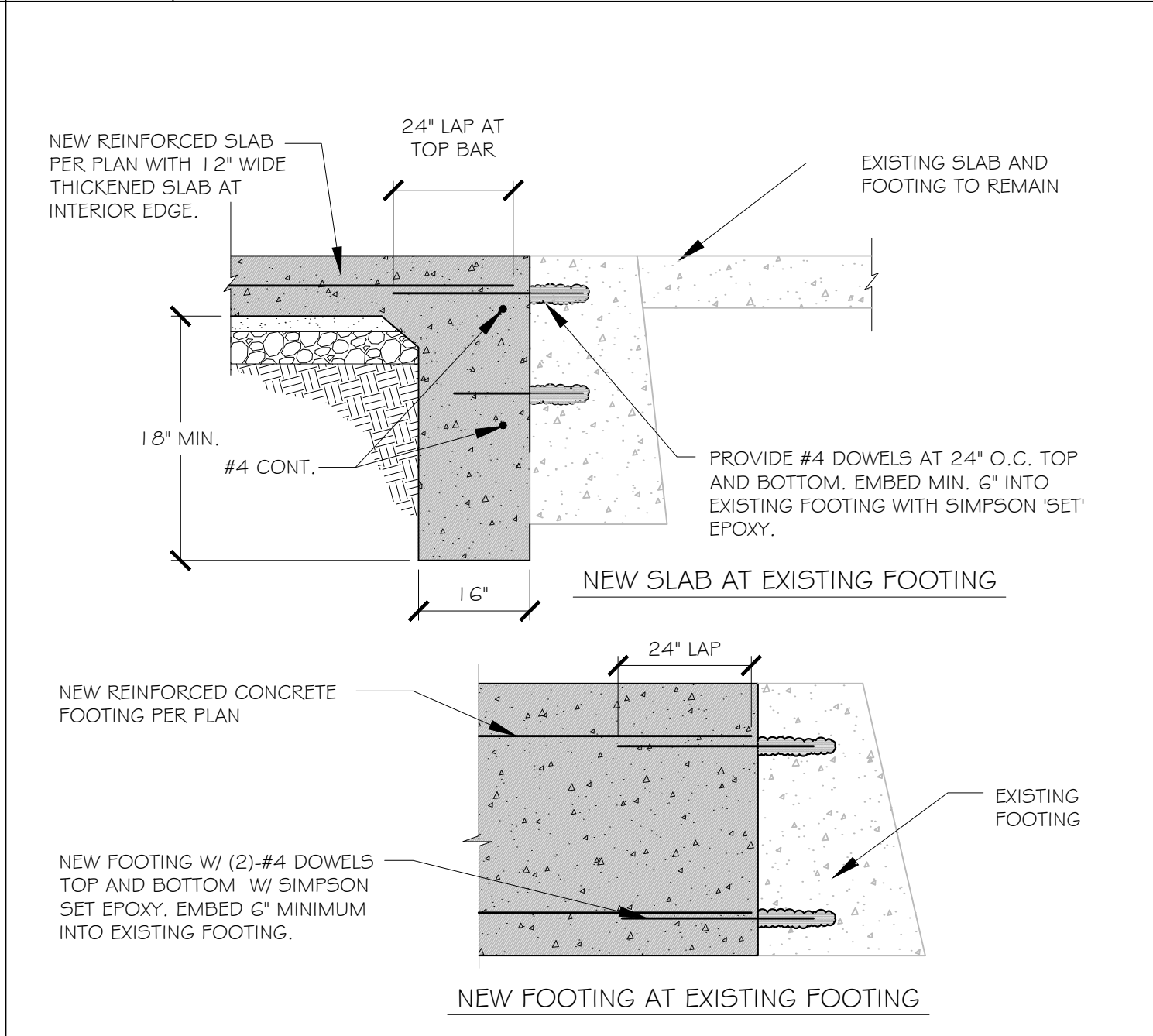
11 EXTERIOR PIER AT POST



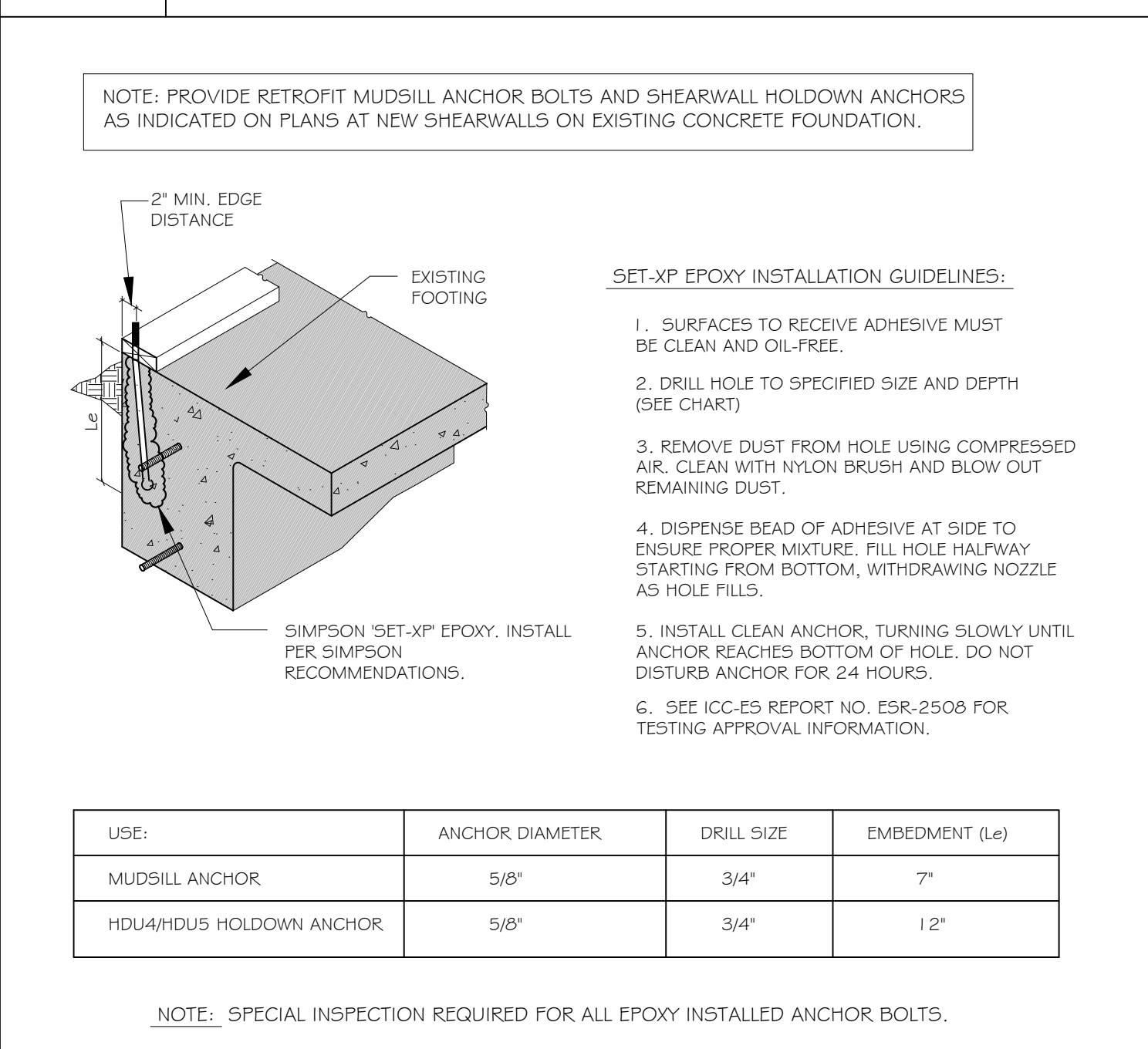
8 PONY WALL AT FOUNDATION



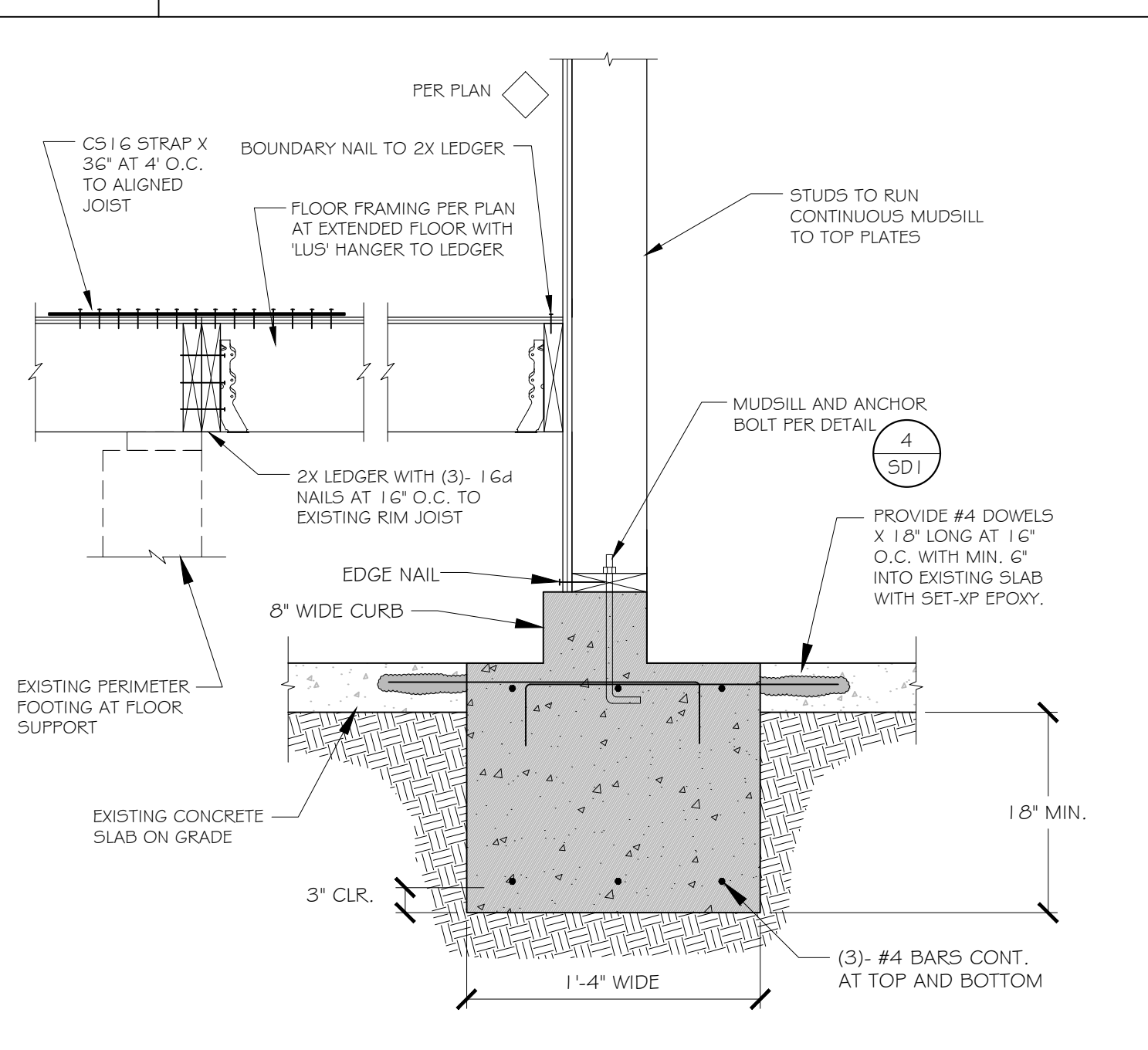
5 TYPICAL HDU4 / HDU5 HOLDOWN



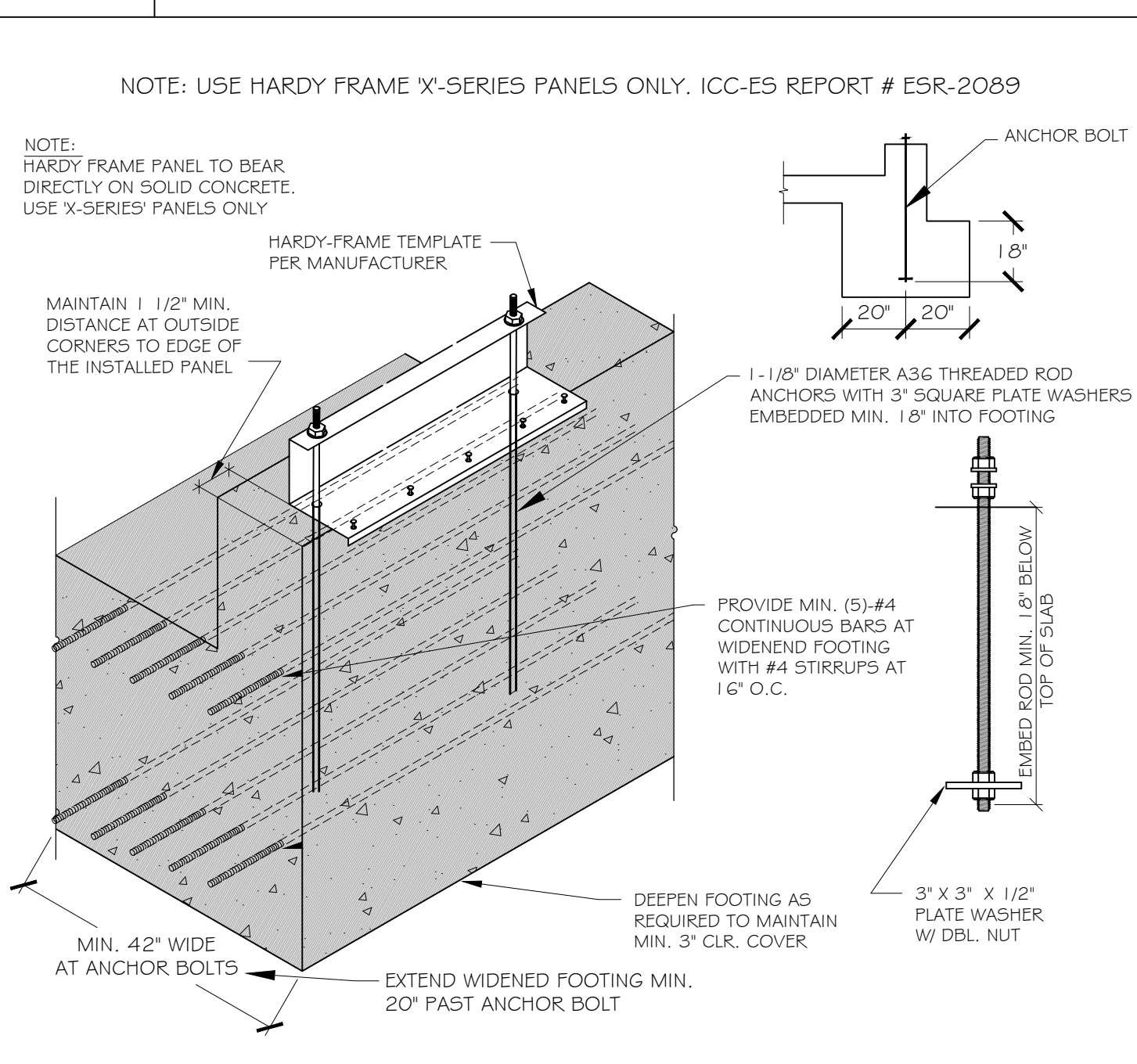
2 NEW TO EXISTING FOOTING



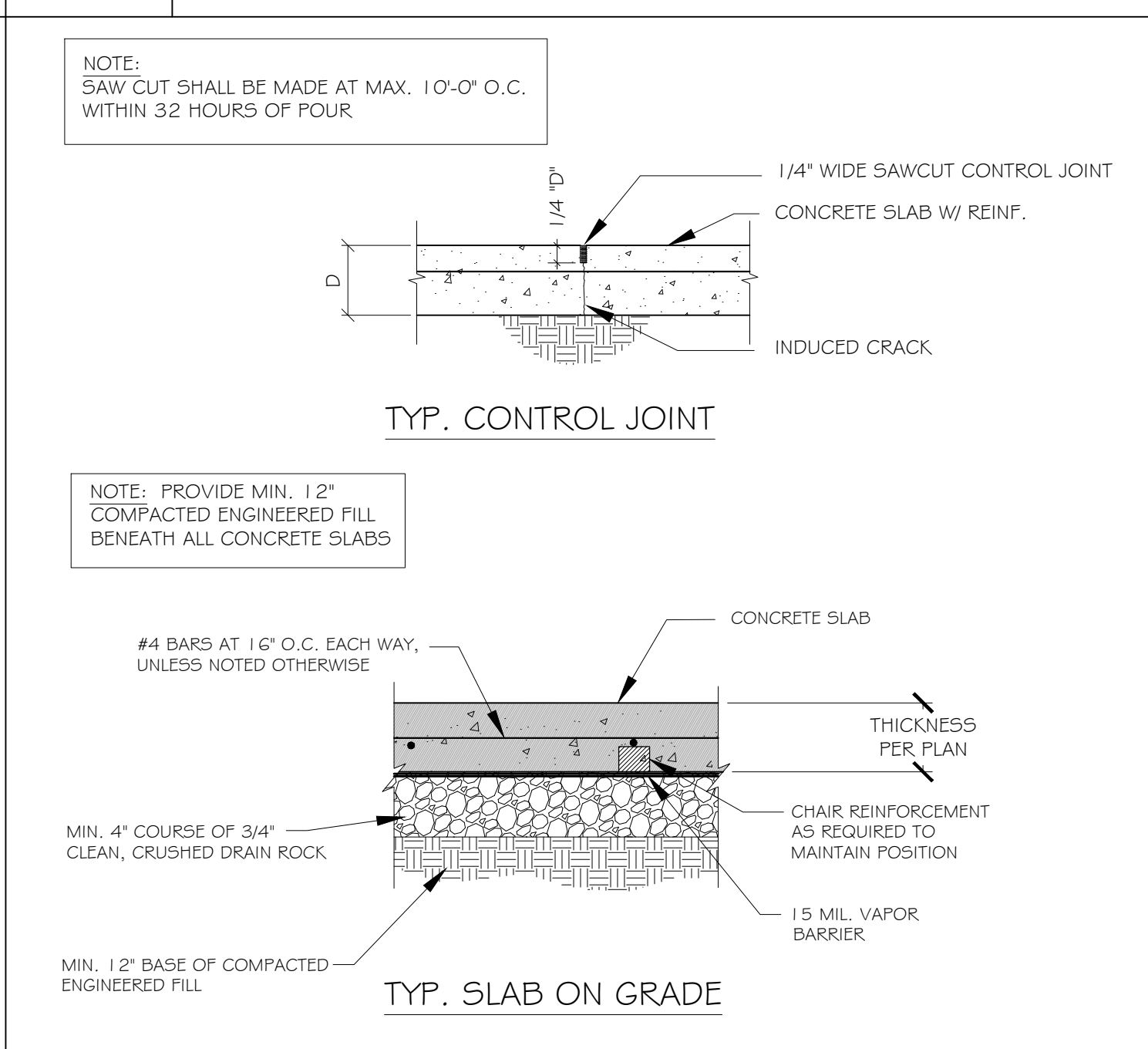
12 RETROFIT ANCHOR INSTALLATION



9 SAWCUT FOOTING AT (E) SLAB



6 HARDY-FRAME PANEL ANCHOR



3 TYPICAL SLAB-ON-GRADE

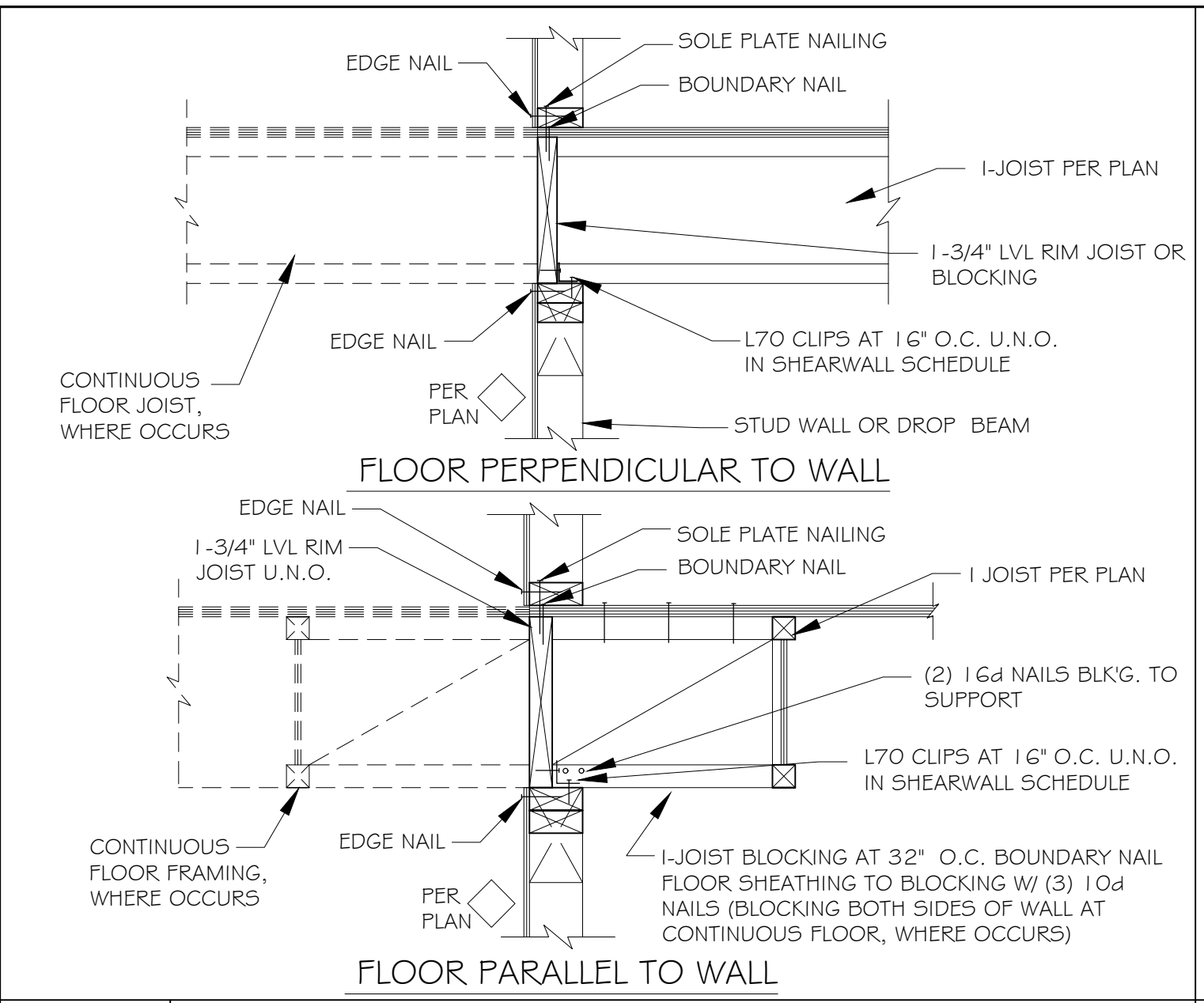
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 leonard@redwoodengineering.net

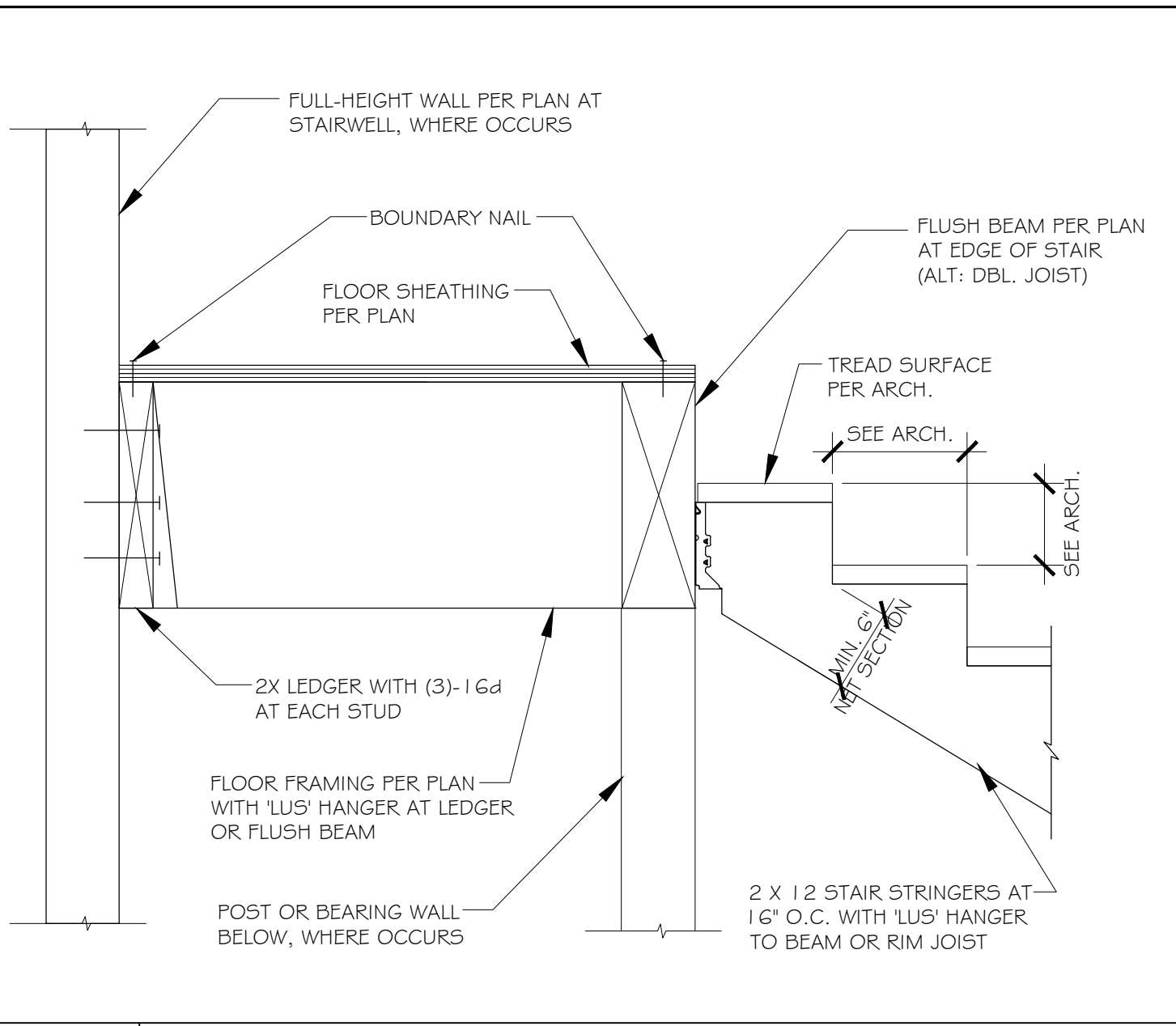
**GAMBELLO RESIDENCE ADDITION**  
 879 MARINO PINES ROAD  
 PACIFIC GROVE, CA 93950

JOB NUMBER: 1673  
 OFFICE NOTE:  
 BUILDING DEPARTMENT SUBMITTAL SET AUGUST 11, 2016  
 A.P.N.: 006-633-016  
 REVISIONS:  
 SHEET

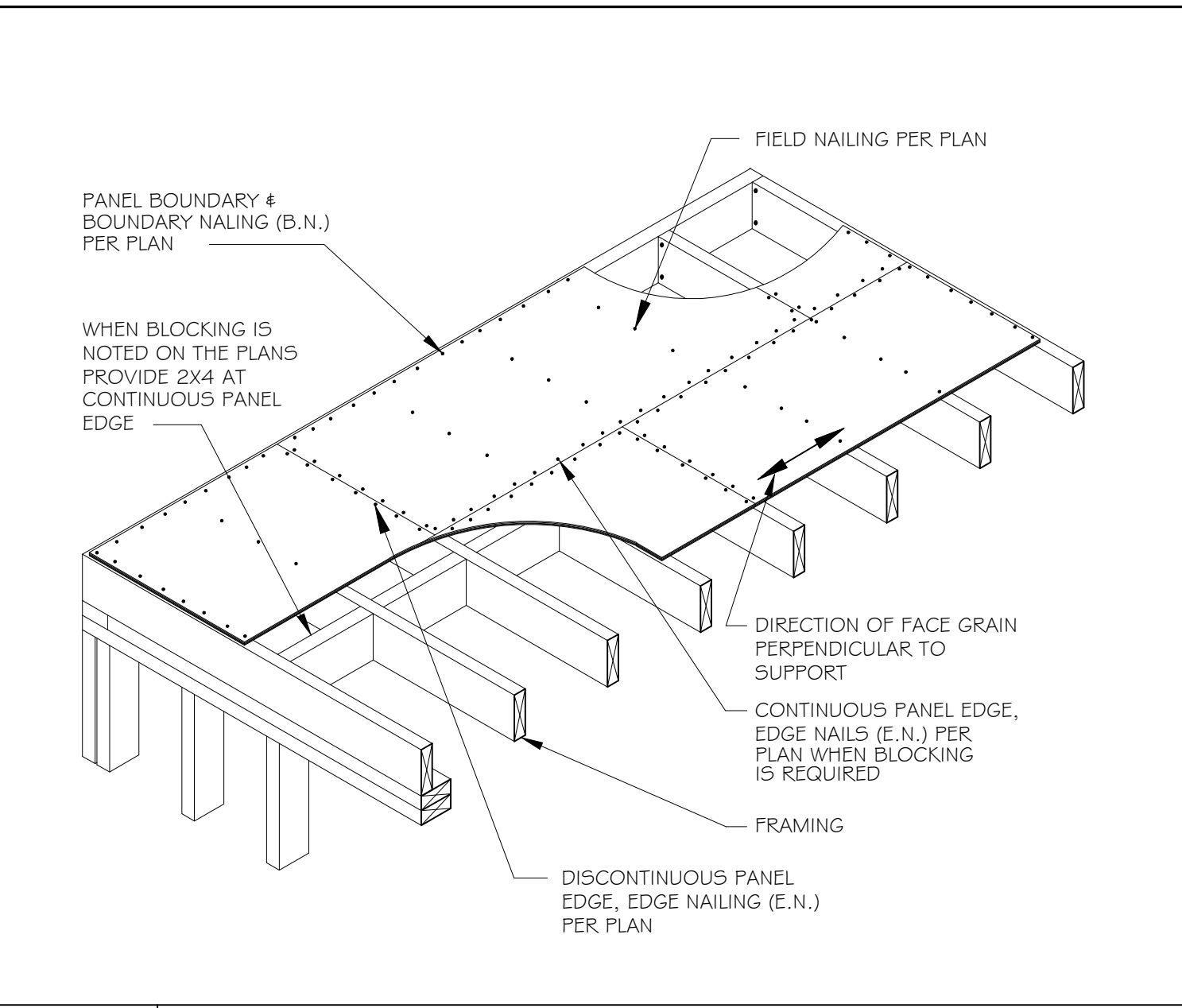
SD1



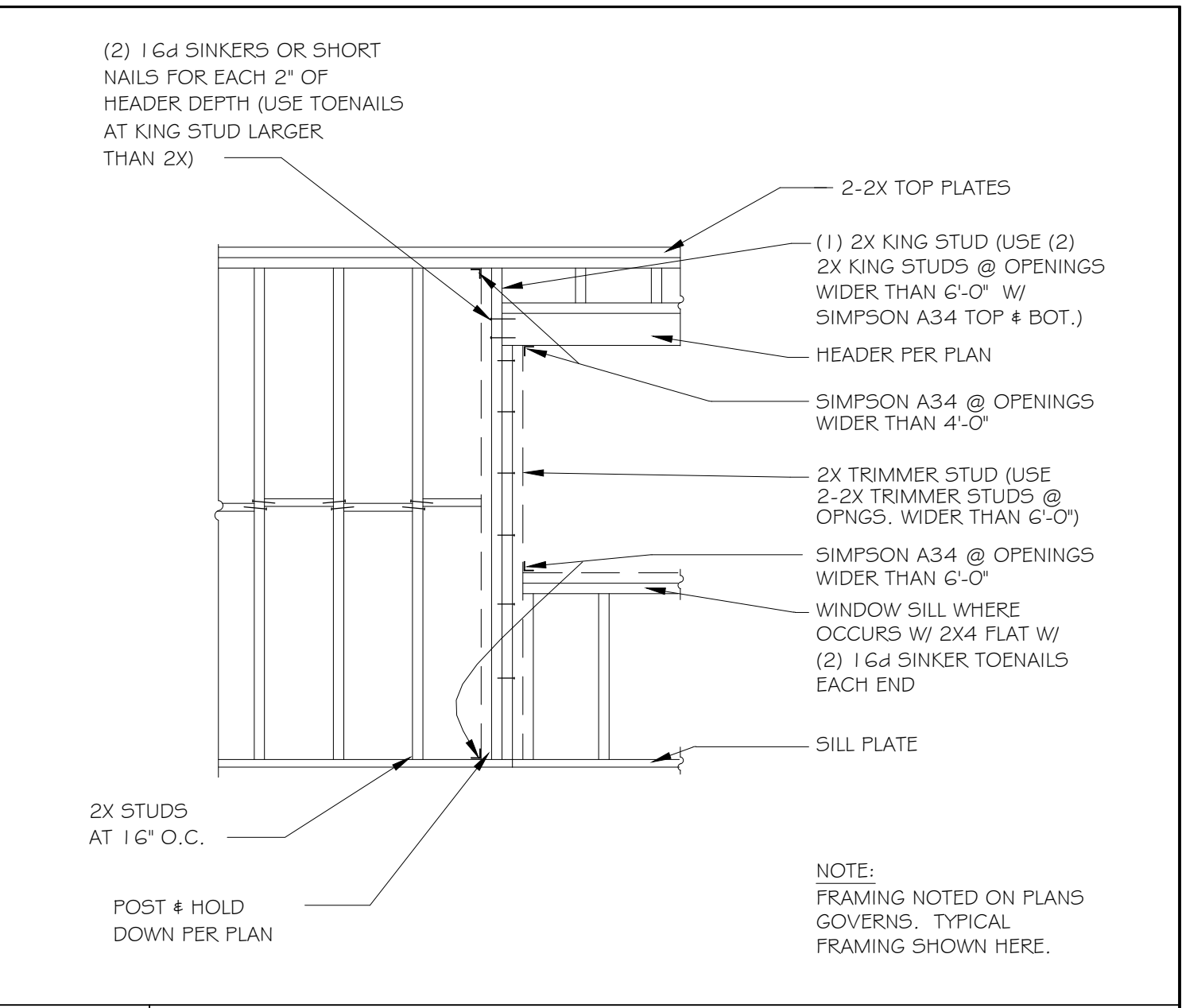
10 FLOOR JOIST SUPPORT AT WALL



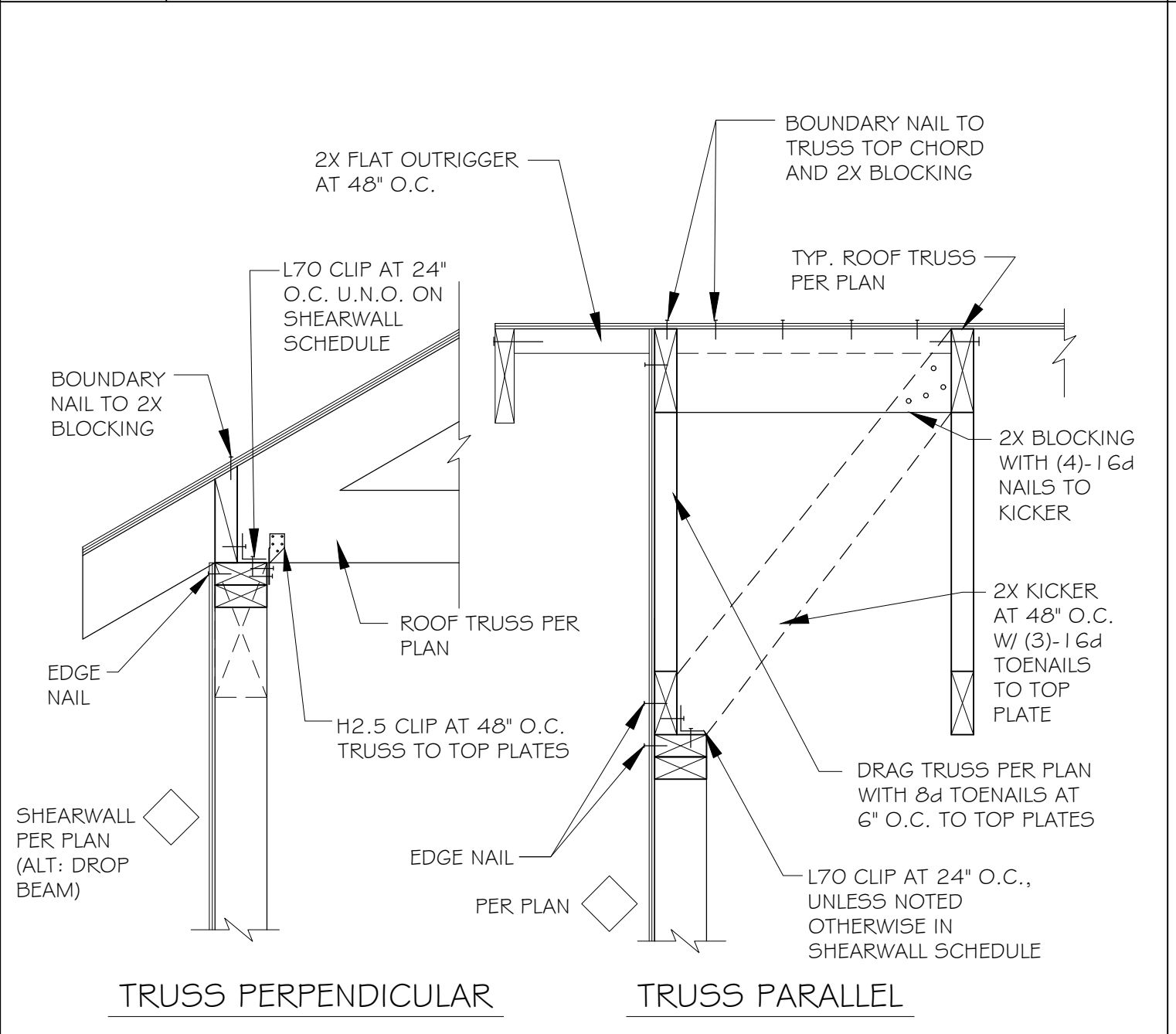
7 STAIR STRINGER SUPPORT



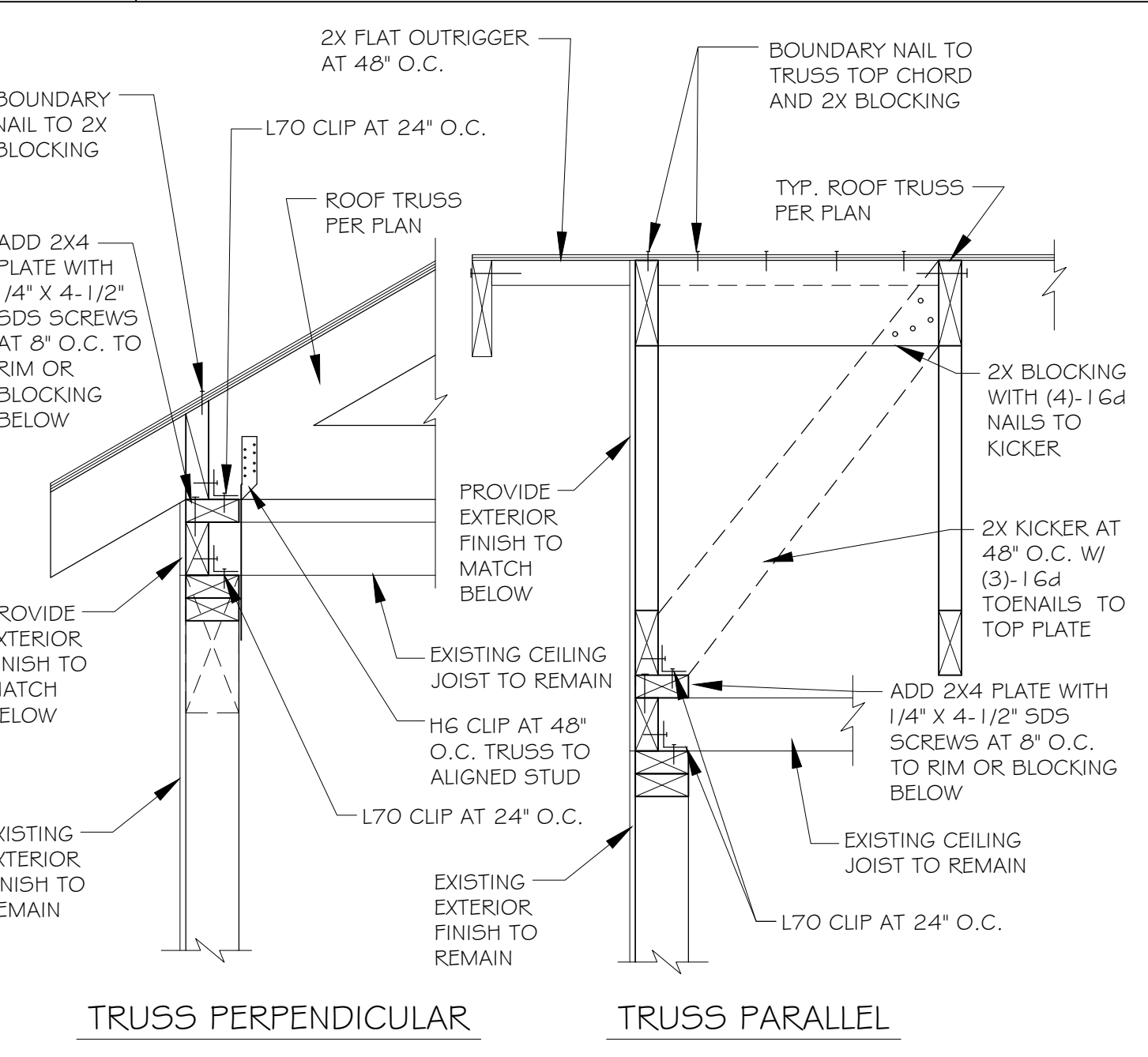
4 TYPICAL DIAPHRAGM LAYOUT



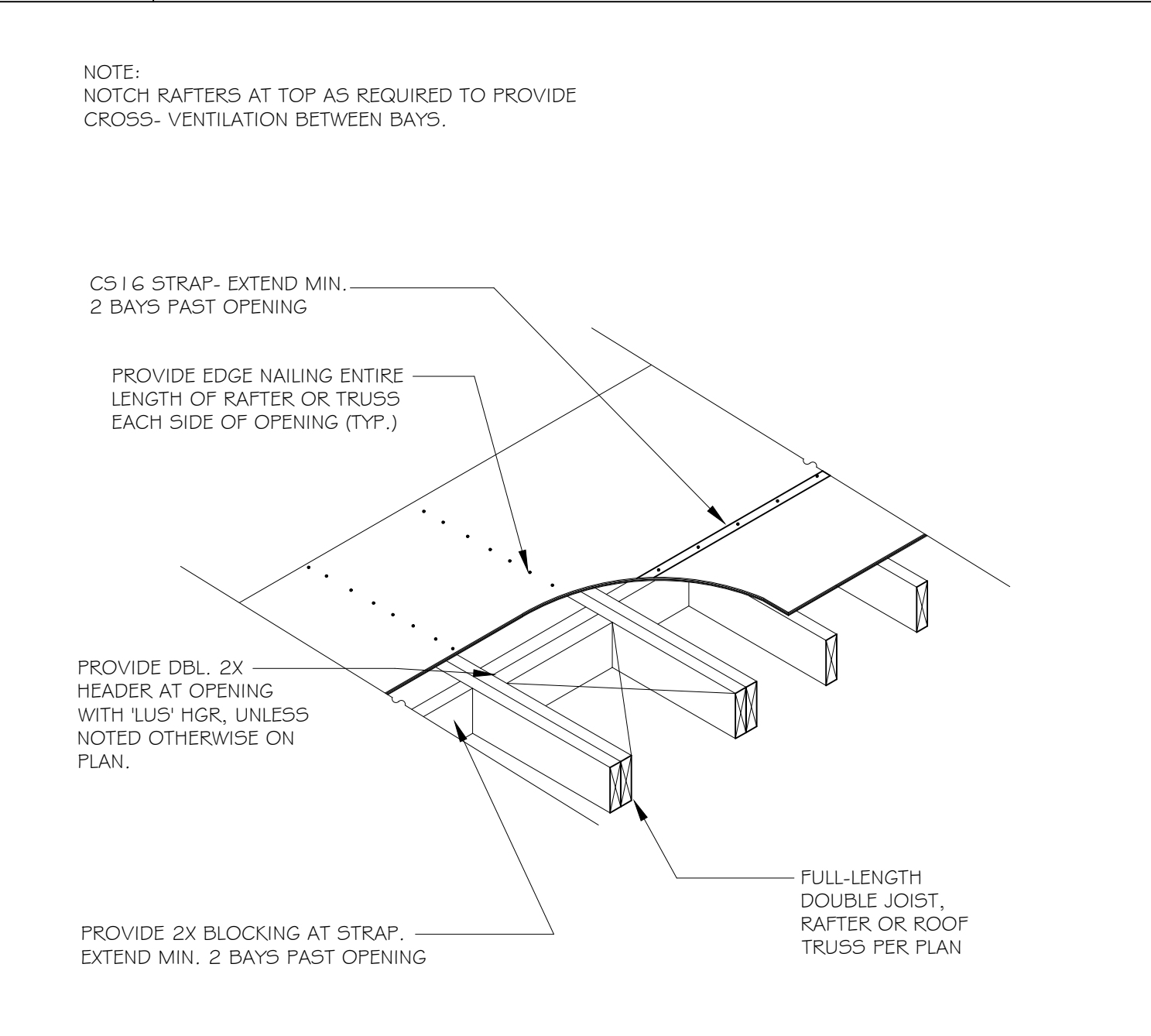
1 TYPICAL WALL FRAMING



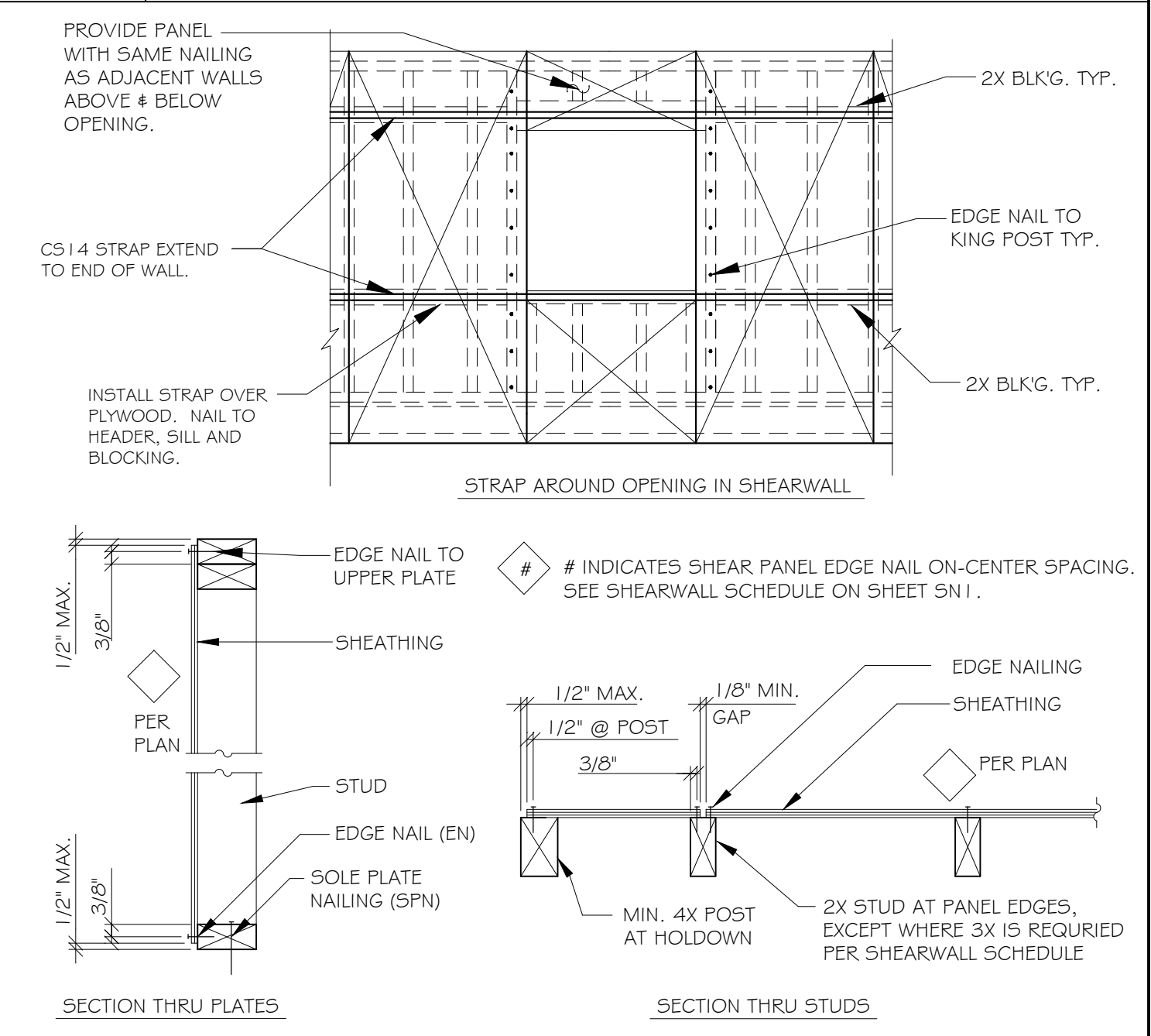
11 TRUSS BEARING AT EXTERIOR WALL



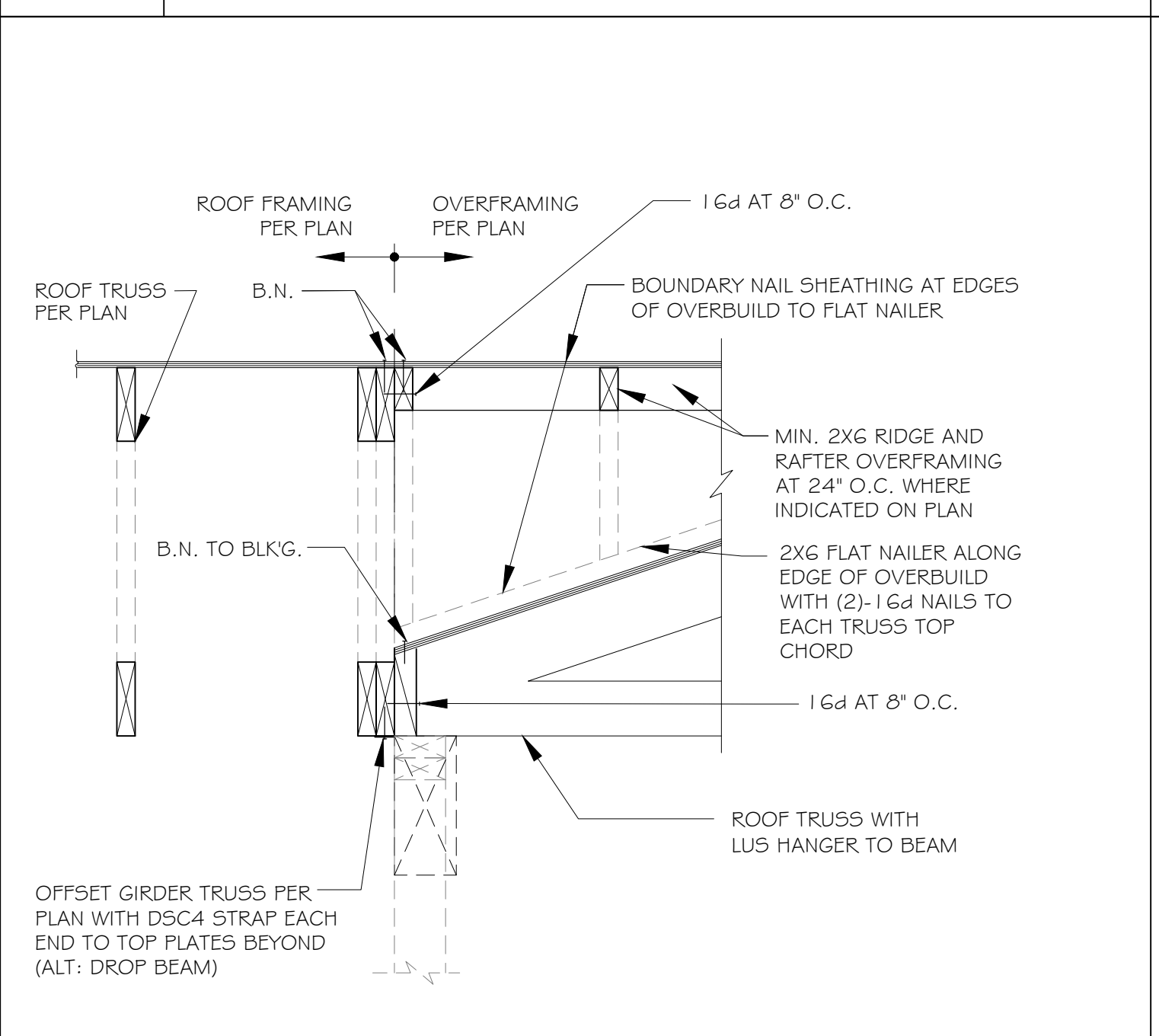
8 NEW TRUSS AT (E) CEILING FRAMING



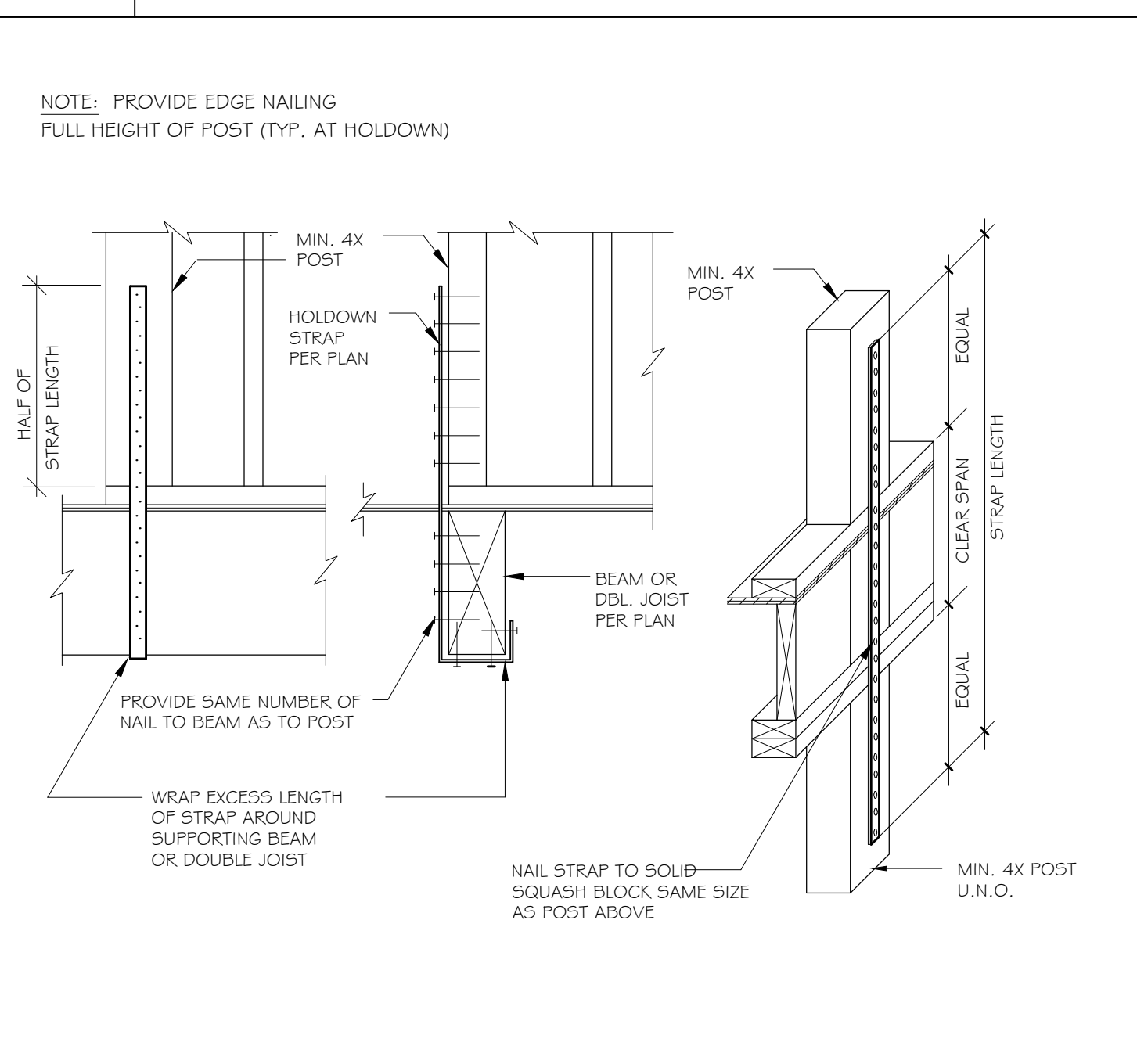
5 TYPICAL SKYLIGHT FRAMING



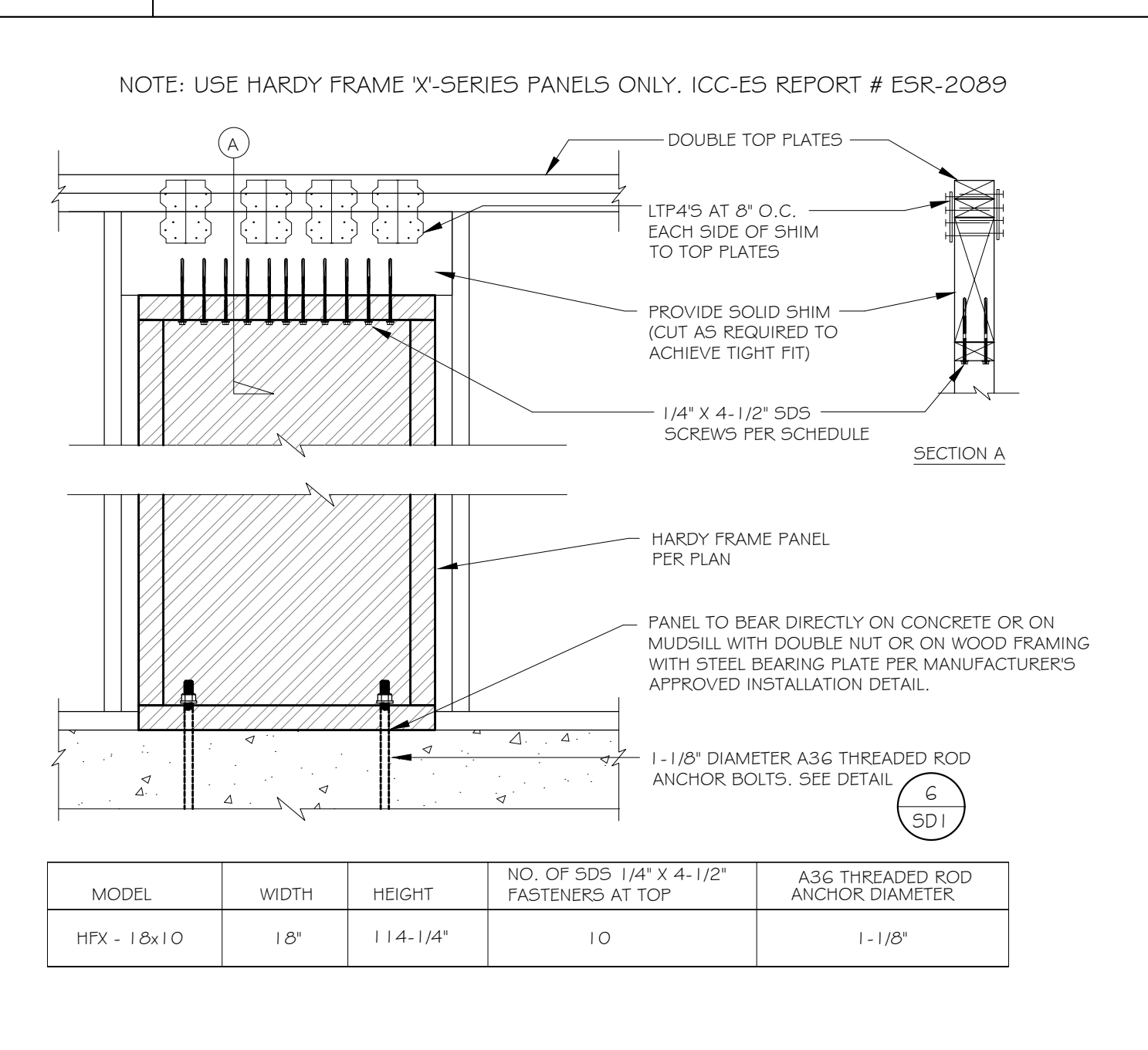
2 PLYWOOD SHEARWALL FRAMING



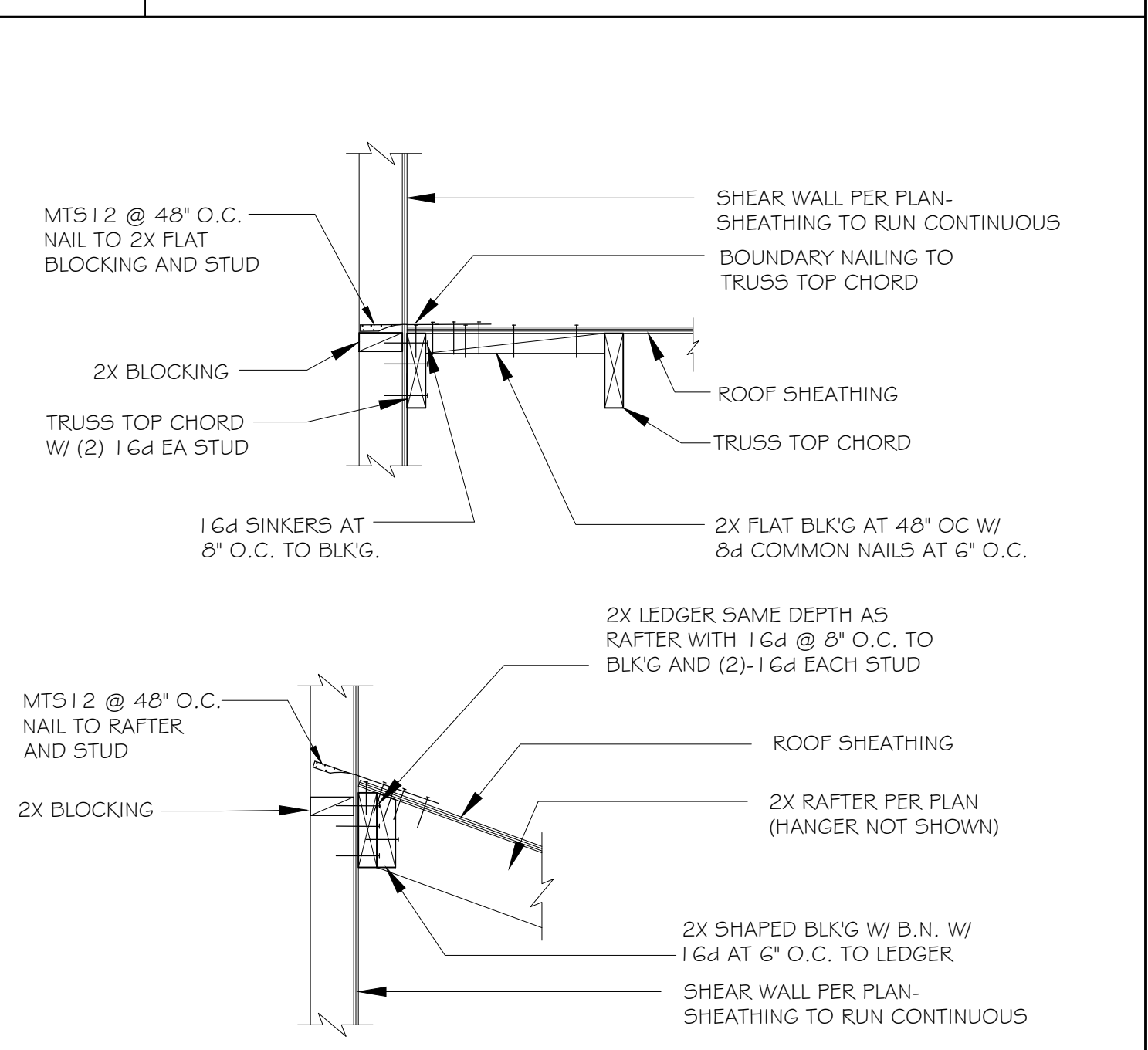
12 OVERFRAMING AT ROOF



9 HOLDOWN STRAP AT FLOOR



6 HARDY FRAME PANEL



3 LOW ROOF TO WALL

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